



**TOWN OF BROCK  
COMMISSION MEETING  
AGENDA PACKET**

**SEPTEMBER 22, 2025**



**NOTICE OF MEETING  
THE TOWN COMMISSION OF BROCK, TEXAS**

MAYOR BEN DAVIS  
COMMISSIONER DEBBIE SCRIMSHIRE  
COMMISSIONER CODY NELSON  
ATTORNEY WHITT L. WYATT

**MEETING DATE AND TIME:**  
MONDAY, SEPTEMBER 22, 2025

**MEETING LOCATION:**  
BROCK COMMUNITY CENTER  
2115 FM 1189  
BROCK, TX 76087

**REGULAR AGENDA**  
BEGINS AT 6:30 P.M.

Unless specifically noted otherwise, action may be taken on any item listed below.

- **CALL TO ORDER AND ANNOUNCE QUORUM**
- **INVOCATION AND PLEDGE**
- **CONSENT AGENDA:** All items listed under the Consent Agenda are considered routine by the Town Commission and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be pulled from the Consent Agenda and discussed separately.

**3.1 Review and Approve**  
(a) August 18, 2025, Meeting Minutes

**3.2 Review Monthly Financial Reports**

**3.3 Review Town of Brock accounts payable**

1. Learn to Live- monthly rent for Town of Brock office \$700.00 (SEPT RENT)
2. Wyatt Hamilton Findlay invoice #210 \$3,543.75
3. TJH Accounting- invoice #2458 \$75.00

- 4. Verdunity- invoice \$ 1,107.50
- 5. Bureau Veritas-project 2025-006574 (Brock Crossing) \$12,417.84
- 6. Texas Municipal League \$1,009.75

- **REGULAR AGENDA:** Discussion and Possible action of the following

- 4.1 Brock citizen Gil Blackburn to discuss plans for Spur FM 1189 project
- 4.2 ARPA/Brock Water/Wastewater study plan project update from Provenance Engineering (PE) Kent Riker
- 4.3 Review and take action to approve reimbursement requests to Parker County for work done in July 2025 by Provenance Engineering  
(A) PE Invoice # 007.23.01-14 \$13,550.00
- 4.4 Discuss findings of illegal dumping located at 1700 FM 1189
- 4.5 Review and take action to approve permit requests
  - 1. Mama Veras- Mobile Food Vendor Application
  - 2. The Spot- Sign Permit
- 4.6 Review and take action to approve Parker County PCT3 estimate for Country Place Road repairs
- 4.7 Review and discuss Parker County Hospital District –EMS Station 4 Commercial Permit Application for station renovations
- 4.8 Discuss and take action regarding Town Hall annual lease
- 4.9 Discuss light pollution ordinance proposal
- 4.10 Discuss and take action regarding Town of Brock oversight of future Brock Hometown Christmas events
- 4.11 Future meeting items and date

**REPORTS:**

Final report on financial audit from BMY from Town Administrator

- **CITIZEN COMMENTS:** The public may address the Commission regarding any item. Persons desiring to address the Commission must register on the sign-in sheet prior to the start of the meeting. Comments are limited to three (3) minutes.

Limited reply by the Commission is allowed under The Texas Open Meetings Act as follows: (a) If, at a meeting of a governmental body, a member of the public or of the governmental body inquires about a subject for which notice has not been given as required by this subchapter, the notice provisions of this subchapter do not apply to: (1) A statement of specific factual information given in response: or (2) A recitation of existing policy in response: (b) Any deliberation of or decision about the subject of the inquiry shall be limited to a proposal to place the subject on the agenda for a subsequent meeting.

- **EXECUTIVE SESSION:** The Commission reserves the right to adjourn into executive session at any time during the meeting to discuss any of the matters listed on the agenda, as authorized by Texas Government Code Section 551.071, CONSULTATION WITH ATTORNEY.

Discuss Town Hall office real estate needs

## 8. ADJOURN

### CERTIFICATION

I hereby certify that the above notice of the meeting was posted on or before Tuesday, September 16, 2025, prior to 6:30 P.M. at the Brock Community Center, 2115 FM 1189 Brock, Texas 76087 and at the Brock Town Hall 2451 FM 1189, Brock Texas 76087.

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Melanie Matheus  
Town Administrator

### Accessibility Statement

In compliance with the American Disabilities Act, reasonable accommodations for persons attending meeting will be provided. To better serve you, requests should be received 24 hours prior to the meeting. Please contact the Town Administrator at 817-396-5333.



**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 3.1**

**Title**

Meeting Minutes

**Item Summary**

Review and take action to approve meeting minutes from the following Town of Brock  
Commission Meetings  
August 18, 2025

**Attachments**

1. August 18, 2025, meeting minutes



**NOTICE OF MEETING  
THE TOWN COMMISSION OF BROCK, TEXAS**

MAYOR JAY HAMILTON  
COMMISSIONER BEN DAVIS  
COMMISSIONER DEBBIE SCRIMSHIRE  
ATTORNEY WHITT L. WYATT

**MEETING DATE AND TIME:**  
MONDAY, AUGUST 18, 2025

**MEETING LOCATION:**  
BROCK COMMUNITY CENTER  
2115 FM 1189  
BROCK, TX 76087

**REGULAR AGENDA**  
BEGINS AT 6:30 P.M.

Unless specifically noted otherwise, action may be taken on any item listed below.

- **CALL TO ORDER AND ANNOUNCE QUORUM**  
Commissioner Debbie Scrimshire called the Commission Meeting to Order and announced a quorum at 6:30 P.M.
- **INVOCATION AND PLEDGE**  
Commissioner Ben Davis led the community in the invocation and Pledges of Allegiance
- **CONSENT AGENDA:** All items listed under the Consent Agenda are considered routine by the Town Commission and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be pulled from the Consent Agenda and discussed separately.

**3.1 Review and Approve**

- (a) February 24, 2025, Meeting Minutes **APPROVED**
- (b) March 24, 2025, Meeting Minutes **APPROVED**
- (c) July 21, 2025, Meeting Minutes **APPROVED**

Commissioner Debbie Scrimshire made a motion to approve the following Commission meeting minutes: February 24, 2025, March 24, 2025, and July 21, 2025,

**seconded by Commissioner Nelson. Motion passed.**

### **3.2 Review Monthly Financial Reports**

### **3.3 Review Town of Brock accounts payable**

1. Learn to Live- monthly rent for Town of Brock office \$700.00 (AUGUST RENT)
2. Nextlink \$45.34
3. Wyatt Hamilton Findlay invoice #163 \$6,612.75 (JULY)
4. Wyatt Hamilton Findlay- invoice #193 \$5,094.00 (AUGUST)
5. CNHI Weatherford Democrat - \$82.80
6. CNHI Weatherford Democrat \$56.00
7. TJH Accounting- \$75.00 (JULY PAYROLL PROCESSING)
8. TJH Accounting- \$75.00 (AUGUST PAYROLL PROCESSING)
9. Verdunity- invoice #132-01-07 \$1037.50

**It was noted by the Town Administrator that there were two invoices for Wyatt Hamilton Findlay and TJH Accounting due to the town email being out of order. The Town Administrator stated that all the above invoices were paid up to date.**

- **REGULAR AGENDA:** Discussion and Possible action of the following

**4.1 Official acknowledgement of Mayor Jay Hamilton's resignation**  
**Commissioner Ben Davis made the motion to acknowledge Jay Hamilton's written resignation as Town of Brock Mayor, seconded by Commissioner Debbie Scrimshire. Motion passed.**

**4.2 Appointment of Interim Mayor**  
**Commissioner Debbie Scrimshire announced a vacancy for the mayoral position and made the motion to appoint Commissioner Ben Davis as interim Mayor, seconded by Commissioner Ben Davis. Motion passed.**  
**Town Administrator administered the oath of office for Mayor Ben Davis.**

**4.3 Appointment of Interim Commissioner**  
**Mayor Ben Davis announced a vacancy for the Commissioner position and made the motion to appoint Cody Nelson as Town of Brock Commissioner, seconded by Commissioner Debbie Scrimshire. Motion passed.**  
**Town Administrator administered the oath of office for Commissioner Cody Nelson.**

**4.4 Review proposed budget for FY 2025-2026**  
**The Town Commission reviewed the proposed FY 2025-2026 budget**

**4.5 PUBLIC HEARING for the proposed FY 2025-2026 budget**  
**Commissioner Debbie Scrimshire opened the public hearing at 6:34 P.M., seconded by Commissioner Cody Nelson, motion passed.**

**Brock citizen Jim Carroll asked the Commission to elaborate on the budget, when Mayor Davis explained the income and expenses showing proposed fiscal responsibility for the upcoming fiscal year.**

**Commissioner Debbie Scrimshire closed the public hearing at 6:37 P.M, seconded by Commissioner Cody Nelson. Motion passed.**

**4.6 ARPA/Brock Water/Wastewater study plan project update from Provenance Engineering Kent Riker**

**Mr. Riker updated the Town Commission on the Brock Water/Wastewater Plan Study stating that the study is 95% complete. He stated he will attend a Water District meeting in Mineral Wells regarding upcoming plans for potential water districts in the region. PE is finalizing a Water/Wastewater plan that will provide infrastructure for sustainable growth for the Brock Community.**

**4.7 Discuss and take action to approve a Conditional Use Permit for Saddlerock Safaris The Commission reviewed the CUP application and tabled it until the next meeting.**

**4.8 Review and take action to approve permit requests**

**1. The Spot- sign permit application**

**Commissioner Debbie Scrimshire made the motion to approve the sign permit for The Spot, seconded by Commissioner Cody Nelson. Motion passed.**

**2. Saddlerock Safaris- alcohol permit application**

**Commissioner Debbie Scrimshire made the motion to approve the alcohol permit for Saddlerock Safaris, seconded by Commissioner Cody Nelson. Motion passed.**

**3. Stokes Construction Company- sign permit application**

**Parker Stokes and Perry Brock approached the Town Commission regarding the off-premises sign placed on Mr. Brock's property on FM 1189. Mr. Stokes requested to understand the Ordinance and why he was required to get a sign permit. Mayor Davis stated that per Ordinance No. 2020-003, off premises signs are only allowed on the I-20 access road (Quannah Hill Road) and not on FM 1189 within town limits or ETJ. The Commission agreed that Parker Stokes/Stokes Construction Company could keep the sign temporarily for 180 days.**

**Commissioner Cody Nelson made the motion to approve the temporary sign permit, seconded by Commissioner Debbie Scrimshire. Motion passed.**

**4. Yesterday's Sandwich Shop- mobile food vendor application**

**Commissioner Cody Nelson made the motion to approve Yesterday's Sandwich Shop Mobile Food Vendor permit application, seconded by Commissioner Debbie Scrimshire. Motion passed.**

**4.9 Discuss and take action to approve an Ordinance establishing a Building and Fire Code Appeals Board**

**Commissioner Debbie Scrimshire made the motion to approve the Ordinance establishing a Building and Fire Code Appeals Board, seconded by Commissioner Cody Nelson. Motion passed.**

**4.10 Review and discuss pothole repairs on Country Place Road**

**Commissioner Debbie Scrimshire made the motion to appoint the Town Administrator to request an estimate from Parker County PCT 3 for pothole repairs on Country Place Road, seconded by Commissioner Cody Nelson. Motion Passed.**

#### **4.11 Future meeting items and date**

**The next Town of Brock Commission meeting was scheduled for Monday, Sept. 22, 2025.**

#### **REPORTS:**

- **CITIZEN COMMENTS:** The public may address the Commission regarding any item. Persons desiring to address the Commission must register on the sign-in sheet prior to the start of the meeting. Comments are limited to three (3) minutes.

Limited reply by the Commission is allowed under The Texas Open Meetings Act as follows: (a) If, at a meeting of a governmental body, a member of the public or of the governmental body inquires about a subject for which notice has not been given as required by this subchapter, the notice provisions of this subchapter do not apply to: (1) A statement of specific factual information given in response; or (2) A recitation of existing policy in response; (b) Any deliberation of or decision about the subject of the inquiry shall be limited to a proposal to place the subject on the agenda for a subsequent meeting.

- **EXECUTIVE SESSION:** The Commission reserves the right to adjourn into executive session at any time during the meeting to discuss any of the matters listed on the agenda, as authorized by Texas Government Code Section 551.071, CONSULTATION WITH ATTORNEY.

**Mayor Ben Davis announced that the Commission was going into Executive Session, and he opened the Executive Session at 7:09 P.M.**

-Discuss Town Hall lease

-Discuss future real estate needs for the Town of Brock

**The Executive Session ended at 7:27 P.M. and reconvened in open session at 7:28 P.M. with Mayor Ben Davis reporting no votes or actions were taken in the Executive Session.**

#### **8. ADJOURN**

**Commissioner Debbie Scrimshire made the motion to adjourn the Town of Brock Commission meeting at 7:30 P.M., seconded by Commissioner Cody Nelson. Motion passed.**

#### **CERTIFICATION**

I hereby certify that the above notice of the meeting was posted on or before Friday, August 15, 2025, prior to 6:30 P.M. at the Brock Community Center, 2115 FM

1189 Brock, Texas 76087 and at the Brock Town Hall 2451 FM 1189, Brock Texas 76087.

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Melanie Matheus  
Town Administrator

**Accessibility Statement**

In compliance with the American Disabilities Act, reasonable accommodations for persons attending meeting will be provided. To better serve you, requests should be received 24 hours prior to the meeting. Please contact the Town Attorney at [Sarahwalsh@whflegal.com](mailto:Sarahwalsh@whflegal.com)



**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 3.2**

**Title**

Town of Brock Financial Reports

**Item Summary**

Review the following monthly financial reports

First Financial EOM Report (August)

Public Funds Checking Account

**Attachments**

1. First Financial EOM Report (August)
2. Public Funds Checking Account

# Reportfolio

First Financial Bankshares Inc., Abilene, TX

Published: 9/2/2025 11:08:14 AM

Management Report  
Pledged To: TOWN OF BROCK

Date: 31-Aug-25  
Section V-C  
Page: 24

## Safekeeping

Code	Cusip Trans#	Description Maturity Prerefund	Pool Coupon	Moody StdPoor	Original Face Pledged Percent	Pledged Original Face Value	Pledged Par Value	Pledged Book Value	Pledged Market Value
Location		FAS 115							
FNBK1	3140XBTR1	FNMA Pool #FM7759	FM7759		\$19,155,639.00	\$350,000.00	\$218,989.95	\$224,774.85	\$201,146.65
	622164202108111	7/1/2036	2.000		1.83%				
FROST NATIONAL BANK		AFS							
FNBK1	3140XBTR1	FNMA Pool #FM7759	FM7759		\$19,155,639.00	\$200,000.00	\$125,137.11	\$128,442.77	\$114,940.94
	622164202108111	7/1/2036	2.000		1.04%				
FROST NATIONAL BANK		AFS							
FNBK1	3132D9F33	FHLMC Pool #SC0186	SC0186		\$19,550,145.00	\$500,000.00	\$345,970.21	\$358,399.48	\$306,972.45
	639689202111151	9/1/2041	2.500		2.56%				
FROST NATIONAL BANK		AFS							
FNBK1	3140XCWG9	FNMA Pool #FM8746	FM8746		\$26,845,280.00	\$1,000,000.00	\$719,613.51	\$744,387.30	\$640,045.84
	633248202110121	9/1/2041	2.500		3.73%				
FROST NATIONAL BANK		AFS							
<u>4 MBS - Fixed Rate</u>						<u>\$2,050,000.00</u>	<u>\$1,409,710.78</u>	<u>\$1,456,004.40</u>	<u>\$1,263,105.88</u>
FNBK1	3137HAMS2	FHMS K507 A2			\$25,000,000.00	\$250,000.00	\$250,000.00	\$250,181.01	\$255,202.25
	723884202501091	9/25/2028	4.800		1.00%				
FROST NATIONAL BANK		AFS							
<u>1 CMBS - Fixed CMO</u>						<u>\$250,000.00</u>	<u>\$250,000.00</u>	<u>\$250,181.01</u>	<u>\$255,202.25</u>
<u>Total Pledged 5 To: BRO TOWN OF BROCK</u>						<u>\$2,300,000.00</u>	<u>\$1,659,710.78</u>	<u>\$1,706,185.41</u>	<u>\$1,518,308.13</u>
\$0.00 Munis with Maturity Under 2 Years					\$0.00	Other securities with Stated Maturity Under 2 Years			
\$0.00 Munis with Maturity Over 2 Years					\$1,659,710.78	Other securities with Stated Maturity Over 2 Years			

\*\* If no data is shown, then there are no pledges for the current period.

**Town of Brock - Public Funds Checking Account**

**06/01/2025-08/29/2025**

Per Bank Activity:

<b>Beginning Balance (as of June 1, 2025)</b>	<b>\$1,504,980.48</b>
Deposits	\$41,724.69
Sales Tax Income	\$41,574.69
Franchise Tax Income	
Permit Revenue	\$150.00
Disbursements	\$12,395.26
ARPA Funding Release	
<b>Ending Balance (As of June 30, 2025)</b>	<b>\$1,534,309.91</b>
<b>Beginning Balance (as of July 1, 2025)</b>	<b>\$1,534,309.91</b>
Deposits	\$51,217.25
Sales Tax Income	\$33,367.25
Franchise Tax Income	
Permit Revenue	
Interest Deposit	\$157.87
Disbursements	\$23,220.88
ARPA Funding Release	\$17,850.00
<b>Ending Balance (As of July 31, 2025)</b>	<b>\$1,562,464.15</b>
<b>Beginning Balance (as of August 1, 2025)</b>	<b>\$1,562,464.15</b>
Deposits	\$67,790.58
Sales Tax Income	\$37,342.59
Franchise Tax Income	\$20,930.25
Permit Revenue	\$8,134.59
Interest Deposit	\$5,172.39
Disbursements	\$28,310.76
ARPA Funding Release	
<b>Ending Balance (As of August 29, 2025)</b>	<b>\$1,607,116.36</b>



**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 3.3**

**Title**

Town of Brock Accounts Payable

**Item Summary**

Review the following monthly accounts payable

Learn to Live

Wyatt Hamilton Findlay

TJH Accounting

Verdunity

Bureau Veritas

Texas Municipal League

**Attachments**

1. Learn to Live- (no invoice provided) \$700.00 SEPTEMBER Rent
2. Wyatt Hamilton Findlay- invoice # 210 \$3543.75
3. TJH Accounting- invoice #2458 \$75.00
4. Verdunity –invoice #132-01-08 \$1,107.50
5. Bureau Veritas – project 2025-006574 (Brock Crossing) \$12,417.84
6. Texas Municipal League – annual insurances \$1,009.75



## Wyatt Hamilton Findlay, PLLC

**Invoice to:**  
Town of Brock  
2451 FM 1189  
Suite B  
Brock, Texas 76087

### INVOICE

Invoice # 210  
Date: 08/31/2025  
Due Upon Receipt

Invoice Number	Total
210	\$3,543.75
Subtotal	\$3,543.75
Tax	\$0.00
Amount Due	\$3,543.75

INVOICE

TJH Accounting  
131 Coldwater Creek Ln  
Weatherford, TX 76088

Teresa.Hand@TJHAccounting.com  
+1 (817) 992-7054



**Bill to**  
Town of Brock  
2451 FM 1189  
Brock, TX 76087

**Ship to**  
Town of Brock  
2451 FM 1189  
Brock, TX 76087 USA

Invoice details

Invoice no.: 2458  
Terms: Net 15  
Invoice date: 08/28/2025  
Due date: 09/12/2025

#	Date	Product or service	Description	Qty	Rate	Amount
1.		Accounting Services	Aug Payroll	1	\$75.00	\$75.00

**Total** **\$75.00**

Ways to pay



Thank you for your business! I accept credit card, ACH direct deposit, and online payments.

View and pay



VERDUNITY

## INVOICE FOR PROFESSIONAL SERVICES

For Services Performed Through: 8/31/2025

**SEND PAYMENT TO:**

VERDUNITY, Inc.  
2931 Ridge Road, Ste 101, #670  
Rockwall, TX 75032  
214-425-6720 phone  
Federal EIN# 45-1743690

Contract Date: 6/17/2024  
Invoice Date: 8/31/2025  
Invoice No.: 132-01-08  
Due Date: 9/30/2025  
Terms: 30 days

**ATTN:** Melanie Matheus, Town Clerk  
Town of Brock  
2451 FM 1189, Ste B  
Brock, TX 76087

**RE: Mapping Services**

DESCRIPTION	HOURS THIS PERIOD	BILLING RATE	THIS INVOICE
Principal	1	\$ 275.00	\$ 275.00
Associate	0	\$ 230.00	\$ -
Project Manager	0	\$ 200.00	\$ -
Senior Planner	1.5	\$ 165.00	\$ 247.50
Planner	0	\$ 125.00	\$ -
Data Analyst	3.5	\$ 110.00	\$ 385.00
GIS/CAD Tech	0	\$ 90.00	\$ -
Admin	0	\$ 80.00	\$ -
Reimb Expense (ESRI online map hosting, 1 yr)	0	\$ 200.00	\$ 200.00
<b>TOTAL</b>	<b>6</b>		<b>\$ 1,107.50</b>

**TOTAL AMOUNT DUE - THIS INVOICE: \$ 1,107.50**

**ACCOUNT SUMMARY**

BILLED TO DATE	PAID TO DATE	TOTAL CONTRACT	AMT REMAINING
\$ 11,781.25	\$ 10,673.75	\$ 15,000.00	\$ 3,218.75
CURRENT	A/R (<60 DAYS)	A/R (>60 DAYS)	TOTAL BALANCE
\$ 1,107.50	\$ -	\$ -	\$ 1,107.50

*If there are questions regarding this invoice, please contact us immediately for clarification.*

# Invoice RI 25029018

Page No: 1 / 1

Remit Checks To:  
Bureau Veritas North America, Inc.  
PO Box 841566  
Dallas, TX 75284-1566

Courier/Overnight Address:  
Bank of America Lockbox Services  
Lockbox # 841566  
1950 N Stemmons Freeway, Suite 5010  
Dallas, TX 75207



Remit ACH Transfers to:  
ABA Routing Number 122000661  
Account Number 14594-11058

Remit Wire Transfers to:  
Routing Number 026009593  
Account Number 14594-11058  
SWIFT Code BOFAUS3N  
Please Email Remittances to:  
ARremittance@bureauveritas.com

Federal Tax ID # 06-1689244

Town of Brock  
2451 FM 1189  
Ste. B  
Brock, TX 76087

Customer no: 4136162  
Invoice Date: 06/25/2025  
Net Due Date: 07/25/2025

25960372 2025-006574 D/FW  
Project: 2025-006574  
7415 Quanah Hill Rd.  
Brock TX 76087  
Parker County; ParcelID:  
Legal info:  
Business Name: Brock Crossing ;Scope: New Office Complex  
Description: Commercial New Package  
PO Number:  
Plan:EPR - Brock Crossing New Office Complex ; Project Valuation: \$3200000; Total Project Square Footage: 0  
Permit: Building - 2025-006574; Issued: 06/03/2025  
For billing inquiries, please call 1-800-906-7199.

Description	Quantity	Rate	Net Amount
Commercial Plan Review	1.00	4,894.590	4,894.59
Commercial Inspection Only	1.00	7,523.250	7,523.25
Invoice Subtotal			12,417.84

Payment Terms: 30 DAYS NET	Total	USD 12,417.84
Please Reference Our Invoice Number With Your Payment		
	Total at Due Date	USD 12,417.84





**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 4.1**

**Title**

Spur FM 1189 parking lot project

**Item Summary**

Brock citizen Gil Blackburn to discuss plans for Spur FM 1189 parking lot project

**Attachments**

No items attached



**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 4.2**

**Title**

ARPA/Brock Water/Wastewater Plan Study

**Item Summary**

ARPA/Brock Water/Wastewater Plan Study project update from Provenance Engineering

**Attachments**

Brock Wastewater Master Plan- July 2025 Project Status Report dated 08/14/2025  
Brock Water Master Plan- July 2025 Project Status Report dated 08/14/2025  
Brock Wastewater Master Plan- August 2025 Project Status Report dated 09/17/2025  
Brock Water Master Plan- August 2025 Project Status Report dated 09/17/2025



August 14, 2025

Mr. Ben Davis  
Town of Brock  
2481 FM 1189  
Brock, Texas 76087

Subject: Brock Wastewater Master Plan – Project Status Report July 2025

Dear Mr. Ben Davis:

Provenance Engineering is pleased to provide this Project Status Report (PSR) for the Wastewater Master Plan. The following table shows the work completed to date.

Task	Prior % Complete	Current % Complete	Status
1 Project Management	99%	99%	In Progress
2 Data Gathering & Review	100%	100%	Completed
3 Wastewater Flow Projections	100%	100%	Completed
4 Wastewater Infrastructure Analysis	100%	100%	Completed
5 Wastewater Treatment & Disposal Analysis	100%	100%	Completed
6 Capital Improvements Plan	100%	100%	Completed
7 Rate Study Analysis	96%	96%	In Progress
8 Regulatory & Stakeholder Coordination	96%	96%	In Progress
Total Project	99%	99%	In Progress

The main wastewater infrastructure needed for over 20,000 acres of the Brock community has been laid out in GIS and broken down into different phases into a capital improvements plan. We were idled on the Wastewater Master Plan this month as we focused on advancing the Water System Master Plan. Should you have any questions, please do not hesitate to call me at 817.694.6324.

Sincerely,

Kent Riker, PE  
President | Servant Leader



**PROVENANCE**  
ENGINEERING  
*Rooted to Be Uniquely Different*

August 14, 2025

Mr. Ben Davis  
Town of Brock  
2481 FM 1189  
Brock, Texas 76087

Subject: Brock Water Master Plan – Project Status Report July 2025

Dear Mr. Ben Davis:

Provenance Engineering is pleased to provide this Project Status Report (PSR) for the Water Master Plan. The following table shows the work completed to date.

Task	Prior % Complete	Current % Complete	Status
1 Project Management	93%	95%	In Progress
2 Data Gathering & Review	100%	100%	Completed
3 Demand Projections	100%	100%	Completed
4 Water Supply Planning	97%	100%	Completed
5 Capital Improvements Plan	95%	97%	In Progress
6 Rate Study Analysis	70%	75%	In Progress
7 Regulatory & Stakeholder Coordination	70%	75%	In Progress
Total Project	93%	96%	In Progress

We have completed the water supply options analysis task; we completed the water distribution system model and have the final capital improvements plan under review by our quality manager. Should you have any questions, please do not hesitate to call me at 817.694.6324.

Sincerely,

Kent Riker, PE  
President | Servant Leader



September 17, 2025

Mr. Ben Davis  
Town of Brock  
2481 FM 1189  
Brock, Texas 76087

Subject: Brock Wastewater Master Plan – Project Status Report August 2025

Dear Mr. Ben Davis:

Provenance Engineering is pleased to provide this Project Status Report (PSR) for the Wastewater Master Plan. The following table shows the work completed to date.

Task	Prior % Complete	Current % Complete	Status
1 Project Management	99%	99%	In Progress
2 Data Gathering & Review	100%	100%	Completed
3 Wastewater Flow Projections	100%	100%	Completed
4 Wastewater Infrastructure Analysis	100%	100%	Completed
5 Wastewater Treatment & Disposal Analysis	100%	100%	Completed
6 Capital Improvements Plan	100%	100%	Completed
7 Rate Study Analysis	96%	96%	In Progress
8 Regulatory & Stakeholder Coordination	96%	96%	In Progress
Total Project	99%	99%	In Progress

The main wastewater infrastructure needed for over 20,000 acres of the Brock community has been laid out in GIS and broken down into different phases into a capital improvements plan. We were able to complete the Wastewater Master Plan this month. Should you have any questions, please do not hesitate to call me at 817.694.6324.

Sincerely,

Kent Riker, PE  
President | Servant Leader



**PROVENANCE**  
ENGINEERING  
Rooted to Be Uniquely Different

September 17, 2025

Mr. Ben Davis  
Town of Brock  
2481 FM 1189  
Brock, Texas 76087

Subject: Brock Water Master Plan – Project Status Report August 2025

Dear Mr. Ben Davis:

Provenance Engineering is pleased to provide this Project Status Report (PSR) for the Water Master Plan. The following table shows the work completed to date.

Task	Prior % Complete	Current % Complete	Status
1 Project Management	95%	95%	In Progress
2 Data Gathering & Review	100%	100%	Completed
3 Demand Projections	100%	100%	Completed
4 Water Supply Planning	100%	100%	Completed
5 Capital Improvements Plan	97%	97%	In Progress
6 Rate Study Analysis	75%	75%	In Progress
7 Regulatory & Stakeholder Coordination	75%	75%	In Progress
Total Project	96%	96%	In Progress

We have completed the water supply options analysis task; we completed the water distribution system model and have the final report under review by our quality manager. Should you have any questions, please do not hesitate to call me at 817.694.6324.

Sincerely,

Kent Riker, PE  
President | Servant Leader



**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 4.3**

**Title**

ARPA Reimbursement

**Item Summary**

Review and take action to approve reimbursement requests to Parker County for work done in July 2025 by Provenance Engineering  
Invoice # 007.23.01-14 \$13,550.00

**Attachments**

1. Invoice # 007.23.01-14 \$13,550.00



**PROVENANCE**  
ENGINEERING  
*Rooted to Be Uniquely Different*

Provenance Engineering, LLC.  
ATTN: Kent Riker  
2495 FM 1189  
Brock, TX 76087  
817.373.5714

## INVOICE

INVOICE #007.23.01 - 14  
DATE: 08/14/25

### BILLED TO:

Town of Brock  
2481 FM 1189  
Brock, Texas 76087  
email: townclerk@brocktx.net

### FOR:

Engineering Master Services Agreement  
Brock Water Master Plan  
Provenance Engineering PN 007.23.01

PHASE	CONTRACT AMOUNT	PERCENT COMPLETE	PRIOR BILLED	CURRENT BILLED	TOTAL BILLED
1.0 - Project Management	\$40,000.00	95%	\$37,200.00	\$800.00	\$38,000.00
2.0 - Data Gathering & Review	\$25,000.00	100%	\$25,000.00	\$0.00	\$25,000.00
3.0 - Demand Projections	\$20,000.00	100%	\$20,000.00	\$0.00	\$20,000.00
4.0 - Water Supply Planning	\$250,000.00	100%	\$242,500.00	\$7,500.00	\$250,000.00
5.0 - Capital Improvements Plan	\$100,000.00	97%	\$95,000.00	\$2,000.00	\$97,000.00
6.0 - Rate Study Analysis	\$35,000.00	75%	\$24,500.00	\$1,750.00	\$26,250.00
7.0 - Regulatory and Stakeholder Coordination	\$30,000.00	75%	\$21,000.00	\$1,500.00	\$22,500.00
	<b>\$500,000.00</b>	<b>96%</b>	<b>\$465,200.00</b>	<b>\$13,550.00</b>	<b>\$478,750.00</b>

We appreciate the opportunity to serve you and your staff.  
Thank you in advance for payment of **\$13,550.00** TERMS  
Net 30 days

Thank you for your business!

Kent Riker, PE  
President | Servant Leader



**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 4.4**

**Title**

Illegal Dumping at 1700 FM 1189

**Item Summary**

Discuss findings for illegal dumping at 1700 FM 1189

**Attachments**

1. Photographs of illegal dumping
2. FEMA Floodplain maps (2)



# National Flood Hazard Layer FIRMMette



97°56'52"W 32°41'2"N



0 250 500 1,000 1,500 2,000 Feet

1:6,000

97°56'14"W 32°40'31"N

Basemap Imagery Source: USGS National Map 2023

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes, Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/11/2025 at 8:01 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 4.5**

**Title**

Permit Applications

**Item Summary**

Review and take action to approve permit applications

Mama Veras- Mobile Food Vendor Application

The Spot- Sign Permit

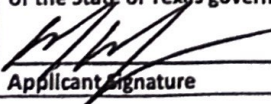
**Attachments**

1. Mama Veras- Mobile Food Vendor Application
2. The Spot- Sign Permit



Town of  
Brock, Texas

## Mobile Food Vendor Permit Application

Mobile Unit Business Name: <b>MAMA VERA'S TX</b>	
Mobile Unit Owner's Name and Mailing Address: <b>Michael Mendoza 76088</b> <b>4050 Greenwood Rd. Weythasford TX</b>	
Mobile Unit Owner Email Address: <b>MAMAVERASTX@gmail.com</b>	Mobile Unit Owner Phone Number: <b>817-550-1751</b>
Location(s) or Placement of Unit for Operation: <b>Chet's Pantry</b>	Operating Hours & Days: <b>VARIES 8am-8pm</b>
Property Owner Name & Mailing Address: <b>Jack Vanderlans 76087</b> <b>1841 FM 1189 Brock TX</b>	Property Owner Email Address: <b>jrvanderlans@gmail.com</b>
Mobile Food Unit Make/Model/Year: <b>Trailer 8x16-SAN-2022</b>	
Mobile Unit Color: <b>White</b>	Mobile Unit Plate Number & State: <b>014624M - TX</b>
Mobile Unit VIN Number: <b>7GG1E1622NW018956</b>	
Town of Brock, TX Sales & Use Permit Number:  <input type="checkbox"/> Attach a Copy of Texas Sales and Use Tax Permit for Brock, TX	<input type="checkbox"/> Attach a Copy of a valid mobile food unit health permit issued by the State of TX or the County
Please provide a brief description of the type(s) of food and services to be offered: <b>Old School Stewed <del>Mexican</del> Mexican</b>	
By signing and submitting this application, I attest that all the information contained in this application is true and correct to the best of my knowledge. I acknowledge that the permit applied for is subject to all provisions and orders and ordinances of the City of Brock and subject to the statutes and rules adopted under the statutes of the State of Texas governing mobile food vendors. A permit may be revoked for non-compliance.	
 Applicant Signature	<b>Mike Mendoza</b> Printed Name
	<b>8/30/25</b> Date



Town of  
Brock, Texas

## Sign Permit Application

*NOTICE: One application per sign is required. All blanks must be filled in for application to be complete.*

Type of Sign: ☐ Temporary ☒ Permanent

☐ Political ☒ Commercial ☐ Real Estate ☐ Construction ☐ Special Event

Address and location of Proposed Sign: 110 Young Bend Brook TX

Legal Description: Commercial

Zoning Classification of Property: ETJ

Applicant: John King ☒ Owner ☐ Agent

Applicant's Address: 112 Myler

City, State: Brock Zip: 76087 Phone No. 817-312-4417

Email Address: John King @ theSpotBrock.com

Owner: John King ☐ Owner ☐ Agent

Owner's Address: \_\_\_\_\_

City, State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone No. \_\_\_\_\_

Email Address: \_\_\_\_\_

Style of Sign: ☐ Monument ☐ Façade ☐ Hanging

The following must be submitted along with the completed petition before processing and scheduling:

- 1.) Two Maps. A 1/4" scaled location map clearly showing the placement of the proposed sign in relation to adjacent streets and distance to adjacent streets and other signs on property
- 2.) 1/4" Scaled drawing of proposed sign w/dimensions of the front of the building
- 3.) Description of materials used in construction of sign
- 4.) Filing Fee

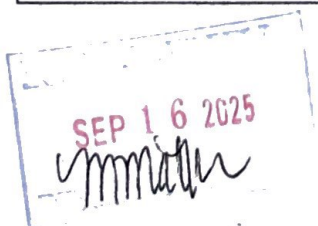
Signature of Applicant: [Signature] Date: 9/16/25

Signature of Owner: [Signature] Date: \_\_\_\_\_

### OFFICE USE ONLY

Date completed application received: 9/16/25 Amount Due: 100.00 Check #: \_\_\_\_\_

Approval Signature: \_\_\_\_\_ Date: \_\_\_\_\_



PHONE: (817) 396 - 5333

MAILING ADDRESS: 2451 FM 1189, Ste.B, Brock, TX 76087

EMAIL: townclerk@brocktx.net





**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 4.6**

**Title**

Country Place Road Repair Estimates from Parker County PCT

**Item Summary**

Review and take action to approve repairs for Country Place Road

Patching Order \$2,039.40

Work order 29559 \$145,561.00

Work order 29560 \$70,760.52

Work order 29561 \$250,230.90

**Attachments**

1. Estimate from Parker County for Patching order
2. Estimate from Parker County including work orders 29559, 29560, 29561



### PARKER COUNTY PRECINCT #3

Larry Walden  
1111 FM 1189  
Weatherford, TX 76087  
817-594-0371

August 28, 2025

Patching Country Place Road

Labor - \$818.80  
Equipment - \$616.60  
Material - \$604.00

Total - \$2039.40

We will patch the stretch of road in the Town of Brock approximately 1 mile.

Please remit check to Parker County Precinct #3, 1111 FM 1189  
Weatherford, TX 76087.

Thank you,

A handwritten signature in blue ink that reads "Kim Hardin". The signature is fluid and cursive, with the first name "Kim" and last name "Hardin" clearly distinguishable.

Kim Hardin  
Office Manager



### **PARKER COUNTY PRECINCT #3**

Larry Walden  
1111 FM 1189  
Weatherford, TX 76087  
817-594-0371

September 9, 2025

This is a quote for Country Place Road repairs, if you would like the work done we will need to do an addendum for the repairs.

Work order 29559 is to grind and stabilize the substructure, this number does not deviate:

Employees	\$26,950.40
Equipment	\$63,303.00
P2 Emulsion	\$55,307.60
Total	\$145,561.00

Work order 29560 is to Chipseal on top of the stabilization base:

Employees	\$8,605.20
Equipment	\$11,140.80
CRS 2	\$31,814.52
Grade #4	\$19,200.00
Total	\$70,760.52

Work order 29561 is for 2" of hot mix asphalt:

Employees	\$32,856.40
Equipment	\$63,058.50
Tack Oil	\$900.00
Hot Mix	\$153,416.00
Total	\$250,230.90

Work order 29559 will have to be done, please let us know which one of these work orders 29560 and 29561 you would like to do.



**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 4.7**

**Title**

Parker County Hospital District EMS Station 4 Commercial Renovations

**Item Summary**

Review and discuss Parker County Hospital District-EMS Station 4 Commercial Permit Application for station renovations

**Attachments**

1. PCHD Commerical Permit application packet

**Commercial Permit Application**

Building Permit Number: _____		Valuation: <u>\$400,000</u>	
Project Name: <u>PCHD EMS STATION 4</u>		Zoning: _____	
Project Address: <u>444 Brock Spur, Millsap, TX 76066</u>		Square Foot: <u>4,600</u>	
Project Description:	New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input checked="" type="checkbox"/> Finishout <input type="checkbox"/> Sign <input type="checkbox"/> Plumbing <input type="checkbox"/> Mechanical <input type="checkbox"/> Electrical <input type="checkbox"/> Other <input type="checkbox"/>		
Renovations include replacement of the exterior canopy, bathroom shower repairs, full re-roofing			
Scope of Work: with metal decking, and cleanup/removal of interior damage caused by roofing tar.			
THIS PROPERTY IS IN A FLOODPLAIN: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, provide Flood Plain Certificate to the City			
DOES THIS BUILDING HAVE A FIRE SPRINKLER? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			

Owner Information: _____	
Name: <u>Parker County Hospital District</u>	Projected Contact Person: <u>Randy Bacus</u>
Address: <u>1130 Pecan Dr, Weatherford, TX 76086</u>	
Phone Number: <u>(817) 341-2520</u>	Cell Number: _____ Email: <u>randy.bacus@pchdtx.org</u>

Engineer	Contact Person	Phone #:	Email
BAIRD, HAMPTON, & BROWN, INC.	Scott Crawford	817-596-7575 Email:	scrawford@bhbinc.com
Architect	Contact Person	Phone #:	Email
Schwarz-Hanson Architects	John Pathak	817-377-3600 Email:	john@schwarz-hanson.com
General Contractor	Contact Person	Phone #:	Contractor License Number
		Email:	
Mechanical Contractor	Contact Person	Phone #:	Contractor License Number
		Email:	
Electrical Contractor	Contact Person	Phone #:	Contractor License Number
		Email:	
Plumbing Contractor	Contact Person	Phone #:	Contractor License Number
		Email:	
TPO Energy Provider	Contact Person	Phone #:	Contractor License Number
		Email:	

A permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. All permits require final inspection.

**A certificate of occupancy must be issued before any building is occupied.**

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Signature of Applicant: \_\_\_\_\_

Date: 8/7/2025**OFFICE USE ONLY: Approvals are required from all departments prior to issuance of permit**

Plan Review		Fire	
Public Works		Planning	

 Building Permit Fee: \_\_\_\_\_  
 Plan Review Fee: \_\_\_\_\_  
 Water Tap Fee: \_\_\_\_\_  
 Sewer Tap Fee: \_\_\_\_\_

Meter Deposit Fee: \_\_\_\_\_

 Total Fees: \_\_\_\_\_  
 Receipt #: \_\_\_\_\_  
 Issued Date: \_\_\_\_\_  
 BV Project #: \_\_\_\_\_



## New/Remodel COMMERCIAL Plan Review Checklist

Project Address: 444 Brock Spur, Millsap, TX 76066 Project Name: PCHD EMS STATION 4

New/Remodel: Remodel Sq Ft of Building: 4,600 Value \$: \$400, 000

**Permit Application with an original signature must be complete and submitted with the following information:**

**Applicant is encouraged to make an appointment with town clerk to present preliminary design/set of plans prior to finalizing project.**

**(6) Site Plans to include:**

- ☐ N/A Legal Description(lot, block, subdivision)
- ☐ N/A Property lines and lot dimensions
- ☐ N/A Proposed structure and all existing buildings
- ☐ N/A All easements
- ☒ North arrow and scale
- ☒ Existing and proposed location of utility poles, pad mounted transformers

☐ N/A **(6) Parking lot layout plans**

☒ **(6) Grading plans**

☐ N/A **(6) Commercial Energy Code Compliance**  
To include Lighting Compliance, Mechanical Compliance and Building Envelope, if applicable.

☐ N/A **(6) International Code Compliance**  
To include Lighting Compliance, Mechanical Compliance and Building Envelope, if applicable.

☒ **(6) Sets of plans** to include floor plan, exterior elevations, roof design, Foundation plan, MEP design, construction details, window/door schedule.

☐ N/A **Fire lane location and construction plans and details, Fire suppression system plans and documents, Fire alarm system plans.**

☐ N/A **Driveway approaches and drainage culverts** – Engineered plans (Driveways accessing State Highways require TXDOT permit)

☐ N/A **Signage Design**, including size, location(s) free standing or on façade, lit or not

☒ **Digital Copy of All**

☐ **Fee Paid:** Email City clerk at townclerk@brocktx.net for fee

## Town of Brock, Texas

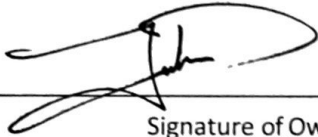
Project Address: 444 Brock Spur, Millsap, TX 76066

Project Name: PCHD EMS STATION 4 Permit Number: \_\_\_\_\_

### Texas Accessibility Standards (TAS)

On application to a local governmental entity for a building construction permit related to the plans and specifications, the owner shall submit to the entity proof that the plans and specifications have been submitted to the Texas Department of Licensing and Regulation (TDLR). Article 9102, Section 5(k) - Senate Bill 959.

I hereby certify that I comply with the requirements of Article 9102, Section 5(k) and have submitted plans and specifications for Texas Accessibility Standards (TAS) review to the TDLR as required or this project is exempt.



\_\_\_\_\_  
Signature of Owner or Authorized Agent

8/7/2025

\_\_\_\_\_  
Date

TDLR Project Number TABS2025025177 (may be obtained at <http://www.license.state.tx.us>)

or reason for exemption: \_\_\_\_\_

### Asbestos Survey Texas Department of Health

Asbestos Program Home Page -- <http://www.dshs.state.tx.us/asbestos/default.shtm>

Asbestos Regulatory Information -- (800) 572-5548 or (512) 834-6787

Was an asbestos survey performed in accordance with Texas Asbestos Health Protection Rules (TAHPR) and the National Emission Standards for Hazardous Air Pollutants (NESHAP)? - Yes ☒ No\*

Date of Survey \_\_\_\_\_ TDH Inspector License No. \_\_\_\_\_

\* If the answer is No, then as the owner/operator of the renovation/demolition site, I understand that it is my responsibility to have this asbestos survey conducted in accordance with Texas Asbestos Health Protection Rules (TAHPR) and the National Emission Standards for Hazardous Air Pollutants (NESHAP) prior to a renovation/demolition permit being issued by the City of Brock.

## ***Brock, Texas***

### **CONTRACTOR REGISTRATION FORM**

---

#### **TYPE OF CONTRACTOR LICENSE**

\_\_\_\_\_ ELECTRICAL CONTRACTOR  
\_\_\_\_\_ MASTER ELECTRICIAN  
\_\_\_\_\_ JOURNEYMAN ELECTRICIAN  
\_\_\_\_\_ MASTER SIGN ELECTRICIAN

\_\_\_\_\_ MECHANICAL (HVAC)  
\_\_\_\_\_ IRRIGATOR (LANDSCAPE)  
\_\_\_\_\_ BACKFLOW (*special form required*)

\_\_\_\_\_ MASTER PLUMBER  
\_\_\_\_\_ JOURNEYMAN PLUMBER

\_\_\_\_\_ OTHER  
\_\_\_\_\_

---

#### **CONTRACTOR INFORMATION**

COMPANY NAME:

PHONE:

EMAIL ADDRESS:

COMPANY ADDRESS:

CITY, STATE, ZIP:

LICENSEE NAME:

LICENSEE NUMBER:

PHONE:

ADDRESS (MAILING):

CITY, STATE, ZIP:

SIGNATURE:

DATE:

---

**PLEASE PROVIDE COPY OF DRIVER'S LICENSE AND STATE LICENSE**

For City use only

AN EXTERIOR AND INTERIOR RENOVATION FOR



### VICINITY MAP



**-PROJECT LOCATION**

SHEET INDEX

[illegible]

## BUILDING CODE SUMMARY

**CIVIL**

949 HILLTOP DR  
WEATHERFORD, TEXAS 76086  
817-596-7575

## LANDSCAPE

949 HILLTOP DR  
WEATHERFORD, TEXAS 76086  
817-596-7575

## STRUCTURE

105 SPOLES DR  
BENBROOK, TX 76126  
817-565-2040

**MEP**

6300 RIDGLEA PLACE, SUITE 700  
FORT WORTH, TEXAS 76116  
817-338-1277

2627 TILLAR STREET  
SUITE 131  
FORT WORTH, TX 76107  
817-377-3600  
www.schwarz-hanson.com  
© SCHWARZ-HANSON LTD.

# HANSON ARCHITECTS

PROJECT NO.: 24297  
DATE: 07-25-2025

444 BROCK SPUR  
MILLSAP, TX 76066













PROJECT NO. 00007  
DATE: 07-26-2023

REVISION SCHEDULE

1. Description 2. Date

SHEET NAME

SPECIFICATION

SHEET NO.

**G0.6**

5. Vienna, LLC (Pneumatic AGS) www.vienna-llc.com
6. Substitutions: See Section 010500 - Product Requirements
7. Prescriptive: Prescriptive Treatment of Lumber Above Grade (ASTM D143, Use Category I/II and UICB, Community Specification F) using waterborne preservatives
  - a. Six dry lumber after treatment to maximum moisture content of 19 percent
  - b. Treat lumber in contact with moisture, heating, or waterlogging
  - c. Treat lumber in contact with moisture or moisture, and
  - d. Treat lumber less than 18 inches (457 mm) above grade
  - e. Treat lumber 18 to 36 inches (457 mm) above grade
  - f. Treat lumber 36 to 48 inches (914 mm) above grade
  - g. Treat lumber 48 to 60 inches (1219 mm) above grade
  - h. Treat lumber 60 to 72 inches (1524 mm) above grade
  - i. Treat lumber 72 to 84 inches (1829 mm) above grade
  - j. Treat lumber 84 to 96 inches (2134 mm) above grade
  - k. Treat lumber 96 to 108 inches (2438 mm) above grade
  - l. Treat lumber 108 to 120 inches (2743 mm) above grade
  - m. Treat lumber 120 to 132 inches (3048 mm) above grade
  - n. Treat lumber 132 to 144 inches (3353 mm) above grade
  - o. Treat lumber 144 to 156 inches (3658 mm) above grade
  - p. Treat lumber 156 to 168 inches (3963 mm) above grade
  - q. Treat lumber 168 to 180 inches (4268 mm) above grade
  - r. Treat lumber 180 to 192 inches (4573 mm) above grade
  - s. Treat lumber 192 to 204 inches (4878 mm) above grade
  - t. Treat lumber 204 to 216 inches (5183 mm) above grade
  - u. Treat lumber 216 to 228 inches (5488 mm) above grade
  - v. Treat lumber 228 to 240 inches (5793 mm) above grade
  - w. Treat lumber 240 to 252 inches (6098 mm) above grade
  - x. Treat lumber 252 to 264 inches (6403 mm) above grade
  - y. Treat lumber 264 to 276 inches (6708 mm) above grade
  - z. Treat lumber 276 to 288 inches (7013 mm) above grade
  - aa. Treat lumber 288 to 300 inches (7318 mm) above grade
  - ab. Treat lumber 300 to 312 inches (7623 mm) above grade
  - ac. Treat lumber 312 to 324 inches (7928 mm) above grade
  - ad. Treat lumber 324 to 336 inches (8233 mm) above grade
  - ae. Treat lumber 336 to 348 inches (8538 mm) above grade
  - af. Treat lumber 348 to 360 inches (8843 mm) above grade
  - ag. Treat lumber 360 to 372 inches (9148 mm) above grade
  - ah. Treat lumber 372 to 384 inches (9453 mm) above grade
  - ai. Treat lumber 384 to 396 inches (9758 mm) above grade
  - aj. Treat lumber 396 to 408 inches (10063 mm) above grade
  - ak. Treat lumber 408 to 420 inches (10368 mm) above grade
  - al. Treat lumber 420 to 432 inches (10673 mm) above grade
  - am. Treat lumber 432 to 444 inches (10978 mm) above grade
  - an. Treat lumber 444 to 456 inches (11283 mm) above grade
  - ao. Treat lumber 456 to 468 inches (11588 mm) above grade
  - ap. Treat lumber 468 to 480 inches (11893 mm) above grade
  - aq. Treat lumber 480 to 492 inches (12198 mm) above grade
  - ar. Treat lumber 492 to 504 inches (12503 mm) above grade
  - as. Treat lumber 504 to 516 inches (12808 mm) above grade
  - at. Treat lumber 516 to 528 inches (13113 mm) above grade
  - au. Treat lumber 528 to 540 inches (13418 mm) above grade
  - av. Treat lumber 540 to 552 inches (13723 mm) above grade
  - aw. Treat lumber 552 to 564 inches (14028 mm) above grade
  - ax. Treat lumber 564 to 576 inches (14333 mm) above grade
  - ay. Treat lumber 576 to 588 inches (14638 mm) above grade
  - az. Treat lumber 588 to 600 inches (14943 mm) above grade
  - ba. Treat lumber 600 to 612 inches (15248 mm) above grade
  - bb. Treat lumber 612 to 624 inches (15553 mm) above grade
  - bc. Treat lumber 624 to 636 inches (15858 mm) above grade
  - bd. Treat lumber 636 to 648 inches (16163 mm) above grade
  - be. Treat lumber 648 to 660 inches (16468 mm) above grade
  - bf. Treat lumber 660 to 672 inches (16773 mm) above grade
  - bg. Treat lumber 672 to 684 inches (17078 mm) above grade
  - bh. Treat lumber 684 to 696 inches (17383 mm) above grade
  - bi. Treat lumber 696 to 708 inches (17688 mm) above grade
  - bj. Treat lumber 708 to 720 inches (17993 mm) above grade
  - bk. Treat lumber 720 to 732 inches (18298 mm) above grade
  - bl. Treat lumber 732 to 744 inches (18603 mm) above grade
  - bm. Treat lumber 744 to 756 inches (18908 mm) above grade
  - bn. Treat lumber 756 to 768 inches (19213 mm) above grade
  - bo. Treat lumber 768 to 780 inches (19518 mm) above grade
  - bp. Treat lumber 780 to 792 inches (19823 mm) above grade
  - bq. Treat lumber 792 to 804 inches (20128 mm) above grade
  - br. Treat lumber 804 to 816 inches (20433 mm) above grade
  - bs. Treat lumber 816 to 828 inches (20738 mm) above grade
  - bt. Treat lumber 828 to 840 inches (21043 mm) above grade
  - bu. Treat lumber 840 to 852 inches (21348 mm) above grade
  - bv. Treat lumber 852 to 864 inches (21653 mm) above grade
  - bw. Treat lumber 864 to 876 inches (21958 mm) above grade
  - bx. Treat lumber 876 to 888 inches (22263 mm) above grade
  - by. Treat lumber 888 to 900 inches (22568 mm) above grade
  - bz. Treat lumber 900 to 912 inches (22873 mm) above grade
  - ca. Treat lumber 912 to 924 inches (23178 mm) above grade
  - cb. Treat lumber 924 to 936 inches (23483 mm) above grade
  - cc. Treat lumber 936 to 948 inches (23788 mm) above grade
  - cd. Treat lumber 948 to 960 inches (24093 mm) above grade
  - ce. Treat lumber 960 to 972 inches (24398 mm) above grade
  - cf. Treat lumber 972 to 984 inches (24703 mm) above grade
  - cg. Treat lumber 984 to 996 inches (25008 mm) above grade
  - ch. Treat lumber 996 to 1008 inches (25313 mm) above grade
  - ci. Treat lumber 1008 to 1020 inches (25618 mm) above grade
  - cj. Treat lumber 1020 to 1032 inches (25923 mm) above grade
  - ck. Treat lumber 1032 to 1044 inches (26228 mm) above grade
  - cl. Treat lumber 1044 to 1056 inches (26533 mm) above grade
  - cm. Treat lumber 1056 to 1068 inches (26838 mm) above grade
  - cn. Treat lumber 1068 to 1080 inches (27143 mm) above grade
  - co. Treat lumber 1080 to 1092 inches (27448 mm) above grade
  - cp. Treat lumber 1092 to 1104 inches (27753 mm) above grade
  - cq. Treat lumber 1104 to 1116 inches (28058 mm) above grade
  - cr. Treat lumber 1116 to 1128 inches (28363 mm) above grade
  - cs. Treat lumber 1128 to 1140 inches (28668 mm) above grade
  - ct. Treat lumber 1140 to 1152 inches (28973 mm) above grade
  - cu. Treat lumber 1152 to 1164 inches (29278 mm) above grade
  - cv. Treat lumber 1164 to 1176 inches (29583 mm) above grade
  - cw. Treat lumber 1176 to 1188 inches (29888 mm) above grade
  - cx. Treat lumber 1188 to 1200 inches (30193 mm) above grade
  - cy. Treat lumber 1200 to 1212 inches (30498 mm) above grade
  - cz. Treat lumber 1212 to 1224 inches (30803 mm) above grade
  - da. Treat lumber 1224 to 1236 inches (31108 mm) above grade
  - db. Treat lumber 1236 to 1248 inches (31413 mm) above grade
  - dc. Treat lumber 1248 to 1260 inches (31718 mm) above grade
  - dd. Treat lumber 1260 to 1272 inches (32023 mm) above grade
  - de. Treat lumber 1272 to 1284 inches (32328 mm) above grade
  - df. Treat lumber 1284 to 1296 inches (32633 mm) above grade
  - dg. Treat lumber 1296 to 1308 inches (32938 mm) above grade
  - dh. Treat lumber 1308 to 1320 inches (33243 mm) above grade
  - di. Treat lumber 1320 to 1332 inches (33548 mm) above grade
  - dj. Treat lumber 1332 to 1344 inches (33853 mm) above grade
  - dk. Treat lumber 1344 to 1356 inches (34158 mm) above grade
  - dl. Treat lumber 1356 to 1368 inches (34463 mm) above grade
  - dm. Treat lumber 1368 to 1380 inches (34768 mm) above grade
  - dn. Treat lumber 1380 to 1392 inches (35073 mm) above grade
  - do. Treat lumber 1392 to 1404 inches (35378 mm) above grade
  - dp. Treat lumber 1404 to 1416 inches (35683 mm) above grade
  - dq. Treat lumber 1416 to 1428 inches (35988 mm) above grade
  - dr. Treat lumber 1428 to 1440 inches (36293 mm) above grade
  - ds. Treat lumber 1440 to 1452 inches (36598 mm) above grade
  - dt. Treat lumber 1452 to 1464 inches (36903 mm) above grade
  - du. Treat lumber 1464 to 1476 inches (37208 mm) above grade
  - dv. Treat lumber 1476 to 1488 inches (37513 mm) above grade
  - dw. Treat lumber 1488 to 1500 inches (37818 mm) above grade
  - dx. Treat lumber 1500 to 1512 inches (38123 mm) above grade
  - dy. Treat lumber 1512 to 1524 inches (38428 mm) above grade
  - dz. Treat lumber 1524 to 1536 inches (38733 mm) above grade
  - ea. Treat lumber 1536 to 1548 inches (39038 mm) above grade
  - eb. Treat lumber 1548 to 1560 inches (39343 mm) above grade
  - ec. Treat lumber 1560 to 1572 inches (39648 mm) above grade
  - ed. Treat lumber 1572 to 1584 inches (39953 mm) above grade
  - ee. Treat lumber 1584 to 1596 inches (40258 mm) above grade
  - ef. Treat lumber 1596 to 1608 inches (40563 mm) above grade
  - eg. Treat lumber 1608 to 1620 inches (40868 mm) above grade
  - eh. Treat lumber 1620 to 1632 inches (41173 mm) above grade
  - ei. Treat lumber 1632 to 1644 inches (41478 mm) above grade
  - ej. Treat lumber 1644 to 1656 inches (41783 mm) above grade
  - ek. Treat lumber 1656 to 1668 inches (42088 mm) above grade
  - el. Treat lumber 1668 to 1680 inches (42393 mm) above grade
  - em. Treat lumber 1680 to 1692 inches (42698 mm) above grade
  - en. Treat lumber 1692 to 1704 inches (43003 mm) above grade
  - eo. Treat lumber 1704 to 1716 inches (43308 mm) above grade
  - ep. Treat lumber 1716 to 1728 inches (43613 mm) above grade
  - eq. Treat lumber 1728 to 1740 inches (43918 mm) above grade
  - er. Treat lumber 1740 to 1752 inches (44223 mm) above grade
  - es. Treat lumber 1752 to 1764 inches (44528 mm) above grade
  - et. Treat lumber 1764 to 1776 inches (44833 mm) above grade
  - eu. Treat lumber 1776 to 1788 inches (45138 mm) above grade
  - ev. Treat lumber 1788 to 1800 inches (45443 mm) above grade
  - ew. Treat lumber 1800 to 1812 inches (45748 mm) above grade
  - ex. Treat lumber 1812 to 1824 inches (46053 mm) above grade
  - ey. Treat lumber 1824 to 1836 inches (46358 mm) above grade
  - ez. Treat lumber 1836 to 1848 inches (46663 mm) above grade
  - fa. Treat lumber 1848 to 1860 inches (46968 mm) above grade
  - fb. Treat lumber 1860 to 1872 inches (47273 mm) above grade
  - fc. Treat lumber 1872 to 1884 inches (47578 mm) above grade
  - fd. Treat lumber 1884 to 1896 inches (47883 mm) above grade
  - fe. Treat lumber 1896 to 1908 inches (48188 mm) above grade
  - ff. Treat lumber 1908 to 1920 inches (48493 mm) above grade
  - fg. Treat lumber 1920 to 1932 inches (48798 mm) above grade
  - fh. Treat lumber 1932 to 1944 inches (49103 mm) above grade
  - fi. Treat lumber 1944 to 1956 inches (49408 mm) above grade
  - fj. Treat lumber 1956 to 1968 inches (49713 mm) above grade
  - fk. Treat lumber 1968 to 1980 inches (50018 mm) above grade
  - fl. Treat lumber 1980 to 1992 inches (50323 mm) above grade
  - fm. Treat lumber 1992 to 2004 inches (50628 mm) above grade
  - fn. Treat lumber 2004 to 2016 inches (50933 mm) above grade
  - fo. Treat lumber 2016 to 2028 inches (51238 mm) above grade
  - fp. Treat lumber 2028 to 2040 inches (51543 mm) above grade
  - fq. Treat lumber 2040 to 2052 inches (51848 mm) above grade
  - fr. Treat lumber 2052 to 2064 inches (52153 mm) above grade
  - fs. Treat lumber 2064 to 2076 inches (52458 mm) above grade
  - ft. Treat lumber 2076 to 2088 inches (52763 mm) above grade
  - fu. Treat lumber 2088 to 2100 inches (53068 mm) above grade
  - fv. Treat lumber 2100 to 2112 inches (53373 mm) above grade
  - fw. Treat lumber 2112 to 2124 inches (53678 mm) above grade
  - fx. Treat lumber 2124 to 2136 inches (53983 mm) above grade
  - fy. Treat lumber 2136 to 2148 inches (54288 mm) above grade
  - fz. Treat lumber 2148 to 2160 inches (54593 mm) above grade
  - ga. Treat lumber 2160 to 2172 inches (54898 mm) above grade
  - gb. Treat lumber 2172 to 2184 inches (55203 mm) above grade
  - gc. Treat lumber 2184 to 2196 inches (55508 mm) above grade
  - gd. Treat lumber 2196 to 2208 inches (55813 mm) above grade
  - ge. Treat lumber 2208 to 2220 inches (56118 mm) above grade
  - gf. Treat lumber 2220 to 2232 inches (56423 mm) above grade
  - gg. Treat lumber 2232 to 2244 inches (56728 mm) above grade
  - gh. Treat lumber 2244 to 2256 inches (57033 mm) above grade
  - gi. Treat lumber 2256 to 2268 inches (57338 mm) above grade
  - gj. Treat lumber 2268 to 2280 inches (57643 mm) above grade
  - gk. Treat lumber 2280 to 2292 inches (57948 mm) above grade
  - gl. Treat lumber 2292 to 2304 inches (58253 mm) above grade
  - gm. Treat lumber 2304 to 2316 inches (58558 mm) above grade
  - gn. Treat lumber 2316 to 2328 inches (58863 mm) above grade
  - go. Treat lumber 2328 to 2340 inches (59168 mm) above grade
  - gp. Treat lumber 2340 to 2352 inches (59473 mm) above grade
  - gq. Treat lumber 2352 to 2364 inches (59778 mm) above grade
  - gr. Treat lumber 2364 to 2376 inches (60083 mm) above grade
  - gs. Treat lumber 2376 to 2388 inches (60388 mm) above grade
  - gt. Treat lumber 2388 to 2400 inches (60693 mm) above grade
  - gu. Treat lumber 2400 to 2412 inches (60998 mm) above grade
  - gv. Treat lumber 2412 to 2424 inches (61303 mm) above grade
  - gw. Treat lumber 2424 to 2436 inches (61608 mm) above grade
  - gx. Treat lumber 2436 to 2448 inches (61913 mm) above grade
  - gy. Treat lumber 2448 to 2460 inches (62218 mm) above grade
  - gz. Treat lumber 2460 to 2472 inches (62523 mm) above grade
  - ha. Treat lumber 2472 to 2484 inches (62828 mm) above grade
  - hb. Treat lumber 2484 to 2496 inches (63133 mm) above grade
  - hc. Treat lumber 2496 to 2508 inches (63438 mm) above grade
  - hd. Treat lumber 2508 to 2520 inches (63743 mm) above grade
  - he. Treat lumber 2520 to 2532 inches (64048 mm) above grade
  - hf. Treat lumber 2532 to 2544 inches (64353 mm) above grade
  - hg. Treat lumber 2544 to 2556 inches (64658 mm) above grade
  - hh. Treat lumber 2556 to 2568 inches (64963 mm) above grade
  - hi. Treat lumber 2568 to 2580 inches (65268 mm) above grade
  - hj. Treat lumber 2580 to 2592 inches (65573 mm) above grade
  - hk. Treat lumber 2592 to 2604 inches (65878 mm) above grade
  - hl. Treat lumber 2604 to 2616 inches (66183 mm) above grade
  - hm. Treat lumber 2616 to 2628 inches (66488 mm) above grade
  - hn. Treat lumber 2628 to 2640 inches (66793 mm) above grade
  - ho. Treat lumber 2640 to 2652 inches (67098 mm) above grade
  - hp. Treat lumber 2652 to 2664 inches (67403 mm) above grade
  - hq. Treat lumber 2664 to 2676 inches (67708 mm) above grade
  - hr. Treat lumber 2676 to 2688 inches (68013 mm) above grade
  - hs. Treat lumber 2688 to 2700 inches (68318 mm) above grade
  - ht. Treat lumber 2700 to 2712 inches (68623 mm) above grade
  - hu. Treat lumber 2712 to 2724 inches (68928 mm) above grade
  - hv. Treat lumber 2724 to 2736 inches (69233 mm) above grade
  - hw. Treat lumber 2736 to 2748 inches (69538 mm) above grade
  - hx. Treat lumber 2748 to 2760 inches (69843 mm) above grade
  - hy. Treat lumber 2760 to 2772 inches (70148 mm) above grade
  - hz. Treat lumber 2772 to 2784 inches (70453 mm) above grade
  - ia. Treat lumber 2784 to 2796 inches (70758 mm) above grade
  - ib. Treat lumber 2796 to 2808 inches (71063 mm) above grade
  - ic. Treat lumber 2808 to 2820 inches (71368 mm) above grade
  - id. Treat lumber 2820 to 2832 inches (71673 mm) above grade
  - ie. Treat lumber 2832 to 2844 inches (71978 mm) above grade
  - if. Treat lumber 2844 to 2856 inches (72283 mm) above grade
  - ig. Treat lumber 2856 to 2868 inches (72588 mm) above grade
  - ih. Treat lumber 2868 to 2880 inches (72893 mm) above grade
  - ii. Treat lumber 2880 to 2892 inches (73198 mm) above grade
  - ij. Treat lumber 2892 to 2904 inches (73503 mm) above grade
  - ik. Treat lumber 2904 to 2916 inches (73808 mm) above grade
  - il. Treat lumber 2916 to 2928 inches (74113 mm) above grade
  - im. Treat lumber 2928 to 2940 inches (74418 mm) above grade
  - in. Treat lumber 2940 to 2952 inches (74723 mm) above grade
  - io. Treat lumber 2952 to 2964 inches (75028 mm) above grade
  - ip. Treat lumber 2964 to 2976 inches (75333 mm) above grade
  - iq. Treat lumber 2976 to 2988 inches (75638 mm) above grade
  - ir. Treat lumber 2988 to 3000 inches (75943 mm) above grade
  - is. Treat lumber 3000 to 3012 inches (76248 mm) above grade
  - it. Treat lumber 3012 to 3024 inches (76553 mm) above grade
  - iu. Treat lumber 3024 to 3036 inches (76858 mm) above grade
  - iv. Treat lumber 3036 to 3048 inches (77163 mm) above grade
  - iw. Treat lumber 3048 to 3060 inches (77468 mm) above grade
  - ix. Treat lumber 3060 to 3072 inches (77773 mm) above grade
  - iy. Treat lumber 3072 to 3084 inches (78078 mm) above grade
  - iz. Treat lumber 3084 to 3096 inches (78383 mm) above grade
  - ja. Treat lumber 3096 to 3108 inches (78688 mm) above grade
  - jb. Treat lumber 3108 to 3120 inches (78993 mm) above grade
  - jc. Treat lumber 3120 to 3132 inches (79298 mm) above grade
  - jd. Treat lumber 3132 to 3144 inches (79603 mm) above grade
  - je. Treat lumber 3144 to 3156 inches (79908 mm) above grade
  - jf. Treat lumber 3156 to 3168 inches (80213 mm) above grade
  - kg. Treat lumber 3168 to 3180 inches (80518 mm) above grade
  - kh. Treat lumber 3180 to 3192 inches (80823 mm) above grade
  - ki. Treat lumber 3192 to 3204 inches (81128 mm) above grade
  - kl. Treat lumber 3204 to 3216 inches (81433 mm) above grade
  - km. Treat lumber 3216 to 3228 inches (81738 mm) above grade
  - kn. Treat lumber 3228 to 3240 inches (82043 mm) above grade
  - ko. Treat lumber 3240 to 3252 inches (82348 mm) above grade
  - kp. Treat lumber 3252 to 3264 inches (82653 mm) above grade
  - kq. Treat lumber 3264 to 3276 inches (82958 mm) above grade
  - kr. Treat lumber 3276 to 3288 inches (83263 mm) above grade
  - ks. Treat lumber 3288 to 3300 inches (83568 mm) above grade
  - kt. Treat lumber 3300 to 3312 inches (83873 mm) above grade
  - ku. Treat lumber 3312 to 3324 inches (84178 mm) above grade
  - kv. Treat lumber 3324 to 3336 inches (84483 mm) above grade
  - kw. Treat lumber 3336 to 3348 inches (84788 mm) above grade
  - kx. Treat lumber 3348 to 3360 inches (85093 mm) above grade
  - ky. Treat lumber 3360 to 3372 inches (85398 mm) above grade
  - kz. Treat lumber 3372 to 3384 inches (85703 mm) above grade
  - la. Treat lumber 3384 to 3396 inches (86008 mm) above grade
  - lb. Treat lumber 3396 to 3408 inches (86313 mm) above grade
  - lc. Treat lumber 3408 to 3420 inches (86618 mm) above grade
  - ld. Treat lumber 3420 to 3432 inches (86923 mm) above grade
  - le. Treat lumber 3432 to 3444 inches (87228 mm) above grade
  - lf. Treat lumber 3444 to 3456 inches (87533 mm) above grade
  - lg. Treat lumber 3456 to 3468 inches (87838 mm) above grade
  - lh. Treat lumber 3468 to 3480 inches (88143 mm) above grade
  - li. Treat lumber 3480 to 3492 inches (88448 mm) above grade
  - lj. Treat lumber 3492 to 3504 inches (88753 mm) above grade
  - lk. Treat lumber 3504 to 3516 inches (89058 mm) above grade
  - ll. Treat lumber 3516 to 3528 inches (89363 mm) above grade
  - lm. Treat lumber 3528 to 3540 inches (89668 mm) above grade
  - ln. Treat lumber 3540 to 3552 inches (89973 mm) above grade
  - lo. Treat lumber 3552 to 3564 inches (90278 mm) above grade
  - lp. Treat lumber 3564 to 3576 inches (90583 mm) above grade
  - lq. Treat lumber 3576 to 3588 inches (90888 mm) above grade
  - lr. Treat lumber 3588 to 3600 inches (91193 mm) above grade
  - ls. Treat lumber 3600 to 3612 inches (91498 mm) above grade
  - lt. Treat lumber 3612 to 3624 inches (91803 mm) above grade
  - lu. Treat lumber 3624 to 3636 inches (92108 mm) above grade
  - lv. Treat lumber 3636 to 3648 inches (92413 mm) above grade
  - lw. Treat lumber 3648 to 3660 inches (92718 mm) above grade
  - lx. Treat lumber 3660 to 3672 inches (93023 mm) above grade
  - ly. Treat lumber 3672 to 3684 inches (93328 mm) above grade
  - lz. Treat lumber 3684 to 3696 inches (93633 mm) above grade
  - ma. Treat lumber 3696 to 3708 inches (93938 mm) above grade
  - mb. Treat lumber 3708 to 3720 inches (94243 mm) above grade
  - mc. Treat lumber 3720 to 3732 inches (94548 mm) above grade
  - md. Treat lumber 3732 to 3744 inches (94853 mm) above grade
  - me. Treat lumber 3744 to 3756 inches (95158 mm) above grade
  - mf. Treat lumber 3756 to 3768 inches (95463 mm) above grade
  - mg. Treat lumber 3768 to 3780 inches (95768 mm) above grade
  - mh. Treat lumber 3780 to 3792 inches (96073 mm) above grade
  - mi. Treat lumber 3792 to 3804 inches (96378 mm) above grade
  - mj. Treat lumber 3804 to 3816 inches (96683 mm) above grade
  - mk. Treat lumber 3816 to 3828 inches (96988 mm) above grade
  - ml. Treat lumber 3828 to 3840 inches (97293 mm) above grade
  - mn. Treat lumber 3840 to 3852 inches (97598 mm) above grade
  - mo. Treat lumber 3852 to 3864 inches (97903 mm) above grade
  - mp. Treat lumber 3864 to 3876 inches (98208 mm) above grade
  - mq. Treat lumber 3876 to 3888 inches (98513 mm) above grade
  - mr. Treat lumber 3888 to 3900 inches (98818 mm) above grade
  - ms. Treat lumber 3900 to 3912 inches (99123 mm) above grade
  - mt. Treat lumber 3912 to 3924 inches (99428 mm) above grade
  - mu. Treat lumber 3924 to 3936 inches (99733 mm) above grade
  - mv. Treat lumber 3936 to 3948 inches (100038 mm) above grade
  - mw. Treat lumber 3948 to 3960 inches (100343 mm) above grade
  - mx. Treat lumber 3960 to 3972 inches (100648 mm) above grade
  - my. Treat lumber 3972 to 3984 inches (100953 mm) above grade
  - mz. Treat lumber 3984 to 3996 inches (101258 mm) above grade
  - na. Treat lumber 3996 to 4008 inches (101563 mm) above grade
  - nb. Treat lumber 4008 to 4020 inches (101868 mm) above grade
  - nc. Treat lumber 4020 to 4032 inches (102173 mm) above grade
  - nd. Treat lumber 4032 to 4044 inches (102478 mm) above grade
  - ne. Treat lumber 4044 to 4056 inches (102783 mm) above grade
  - nf. Treat lumber 4056 to 4068 inches (103088 mm) above grade
  - ng. Treat lumber 4068 to 4080 inches (103393 mm) above grade
  - nh. Treat lumber 4080 to 4092 inches (103698 mm) above grade
  - ni. Treat lumber 4092 to 4104 inches (104003 mm) above grade
  - nj. Treat lumber 4104 to 4116 inches (104308 mm) above grade
  - nk. Treat lumber 4116 to 4128 inches (104613 mm) above grade
  - nl. Treat lumber 4128 to 4140 inches (104918 mm) above grade
  - nm. Treat lumber 4140 to 4152 inches (105223 mm) above grade
  - no. Treat lumber 4152 to 4164 inches (105528 mm) above grade
  - np. Treat lumber 4164 to 4176 inches (105833 mm) above grade
  - nq. Treat lumber 4176 to 4188 inches (106138 mm) above grade
  - nr. Treat lumber 4188 to 4200 inches (106443 mm) above grade
  - ns. Treat lumber 4200 to 4212 inches (106748 mm) above grade
  - nt. Treat lumber 4212 to 4224 inches (107053 mm) above grade
  - nu. Treat lumber 4224 to 4236 inches (107358 mm) above grade
  - nv. Treat lumber 4236 to 4248 inches (107663 mm) above grade
  - nw. Treat lumber 4248 to 4260 inches (107968 mm) above grade
  - nx. Treat lumber 4260 to 4272 inches (108273 mm) above grade
  - ny. Treat lumber 4272 to 4284 inches (108578 mm) above grade
  - nz. Treat lumber 4284 to 4296 inches (108883 mm) above grade
  - oa. Treat lumber 4296 to 4308 inches (109188 mm) above grade
  - ob. Treat lumber 4308 to 4320 inches (109493 mm) above grade
  - oc. Treat lumber 4320 to 4332 inches (109798 mm) above grade
  - od. Treat lumber 4332 to 4344 inches (110103 mm) above grade
  - oe. Treat lumber 4344 to 4356 inches (110408 mm) above grade
  - of. Treat lumber 4356 to 4368 inches (110713 mm) above grade
  - og. Treat lumber 4368 to 4380 inches (111018 mm) above grade
  - oh. Treat lumber 4380 to 4392 inches (111323 mm) above grade
  - oi. Treat lumber 4392 to 4404 inches (111628 mm) above grade
  - oj. Treat lumber 4404 to 4416 inches (111933 mm) above grade
  - ok. Treat lumber 4416 to 4428 inches (1122



**SECTION 0900  
TILING**

**PART 1 GENERAL**

**1.01 SECTION INCLUDES**

- A. Tile for wall applications
- B. Tile for wall applications
- C. Tile for shower receptors
- D. Stone thresholds
- E. Non-slip tile

**1.02 REFERENCE STANDARDS**

- A. ANSI A108.1/136.1M - American National Standard Specifications for the Installation of Ceramic Tile [Compendium] 2018
- B. ANSI A118.3 - American National Standard Specifications for Ceramic Tiling Water-Resistant Tile-Setting and Grouting Epoxy and Water-Resistant Tile-Setting Epoxy Adhesives, 2021
- C. ANSI A118.8 - American National Standard Specifications for Ceramic Tiling Water-Resistant Tile-Setting and Grouting Epoxy and Water-Resistant Tile-Setting Epoxy Adhesives, 2021
- D. ANSI A118.15 - American National Standard Specifications for Low-Slope, Bonded, Waterproof Membranes for Thin-Sel Concrete Tile and Dimension Stone Installation, 2023
- E. ANSI A118.15 - American National Standard Specifications for Improved Modified Dry-Sel Cement Mortar, 2023
- F. TCNA (JIS-01) Handbook for Ceramic Floor, Tile and Stone Tile Installation, 2025
- G. TCNA (JIS-01) Handbook for Grouted Porcelain Tile and Grouted Porcelain Tile Panel/Stone Installation, 2023

**1.03 SUBMITTALS**

- A. See Section 01000 - Administrative Requirements for submittal procedures
- B. Product Data: Submit manufacturer's data sheets on tile, mortar, grout, and accessories. Include instructions for mixing grout and adhesive.
- C. Samples: Mount tile and grout on two plywood panels, minimum 18 by 18 inches (457 mm by 457 mm) in size illustrating pattern, variations, and grout joint size variations.

**PART 2 PRODUCTS**

**2.01 TILE**

- A. Manufacturer: As noted on Project Schedule

**2.02 TRIM AND ACCESSORIES**

- A. Pre-Formed Accessories To Be Covered with Tile: High density expanded polystyrene with ANSI A118.15 waterproofing foam and adhesive.

**2.03 SETTING MATERIALS**

- A. Provide setting and grout materials from same manufacturer.
- B. Improved Latex-Portland Cement Mortar Bed: ANSI A118.15
- 1. Applications: Use where indicated on drawings and where no other type of bed is indicated.
- 2. Products:
  - A. LATICRETE International, Inc. MULTIFLEX LITE, use latex-modified mortar.
  - B. Master Builders, GroutMaster System, use master builders.
  - C. Substitutions: See Section 01000 - Product Requirements.
- C. Epoxy Adhesive and Mortar Bed Coat: ANSI A118.3
- 1. Applications: Tile Locations.
- 2. Products:
  - A. LATICRETE International, Inc. LATICRETE LATAPOXY 300 Adhesive, use latex-modified mortar.
  - B. Master Builders, GroutMaster System, use master builders.
  - C. Substitutions: See Section 01000 - Product Requirements.

**2.04 GROUITS**

- A. Provide setting and grout materials from same manufacturer.
- B. Standard Grout: ANSI A118.6 standard cement grout.
- 1. Applications: Use where indicated on drawings and where no other type of grout is indicated.
- 2. Use standard grout for joints 1/8 inch (3.2 mm) wide and larger use uncolored grout for joints less than 1/8 inch (3.2 mm) wide.
- 3. Textures: To match existing.
- 4. Products:
  - A. LATICRETE International, Inc. LATICRETE 1500 Standard Grout, use latex-modified mortar.
  - B. Master Builders, GroutMaster System, use master builders.
  - C. Substitutions: See Section 01000 - Product Requirements.
- C. Epoxy Grout: ANSI A118.3 chemical-resistant water-resistant epoxy grout.
- 2. Colors: To match tile.
- 3. Applications: To match tile.
- 4. Products:
  - A. LATICRETE International, Inc. LATICRETE SPECTRALOCK PRO Platinum Grout, use latex-modified mortar.
  - B. Master Builders, GroutMaster System, use master builders.
  - C. Substitutions: See Section 01000 - Product Requirements.

**2.05 ACCESSORY MATERIALS**

- A. Waterproofing Membrane At Shower and Tile Tubs: Specify membrane according to manufacturer's instructions on back mortar bed or on back tile, complying with ANSI A118.15.
- 1. Field or Trench Applied Type:
  - A. Products:
    - 1. Any of the following:
      - 1.1. American Chemicals, Ardex A-118, use latex-modified mortar.
      - 1.2. Laticrete International, Inc. LATICRETE HYDRO-BASE, use latex-modified mortar.

**4. ANSI A118.3 - American National Standard Specifications for Tile**

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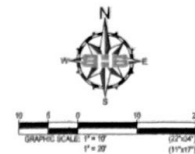


### GRADING

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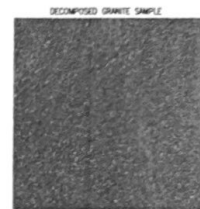
CURB RAMPS ARE 8%  
SLOPE

4:1 MAX GRADING SL

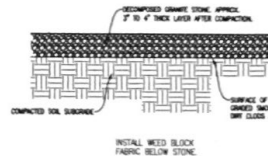


1. TOP SOIL PREP:  
A. FINISH GRADE TOPSOIL, BY REMOVING STONES  
LARGER THAN 1" IN ANY DIMENSION AND STICKS,  
ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER  
TO LEGALLY DISPOSE OF THEM THEM OFF OWNERS  
PROPERTY.
2. ADD A MINIMUM OF 4" OF TOP SOIL.
3. INSTALL SOIL AS SHOWN AND NOTED PER  
SPECIFICATIONS, REF. PLANTING PLANS FOR TYPE.

SE-101	COMMERCIAL GRADE STEEL EDGING 3/16" thick; green; securely stored.	22 Y
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MOISTEN DECOMPOSED GRANITE AND COMPACT WITH VIBRATORY PLATE COMPACTOR. MAKE SEVERAL PASSES, AND TOP OFF WITH ADDITIONAL STONE IF NEEDED. RE-COMPACT SO THAT TOP SURFACE OF STONE WILL BE SLIGHTLY BELOW ADJACENT CURB AND STEEL EDGING.



3 DECOMPOSED GRANITE GROUNDCOVER

**PARKER COUNTY HOSPITAL DISTRICT**  
**EMS STATION 4**  
**IMPROVEMENT PLANS**  
444 Brock Spur  
Millsap, TX 76066

## LANDSCAPE PLAN

[illegible]

PROJECT NUMBER: 2025.010.000

DATE:	07.28.20	DRAWN BY:	JTB
DESIGN BY:	JTB	CHECKED BY:	CA

SHEET  
L1.00

## GENERAL NOTES

- CONTRACTOR SHALL PREPARE ALL MATERIALS AND LABOR TO COMPLETE SCOPE OF WORK AS INDICATED IN DOCUMENTS.
7. JOB SITE TO BE KEPT CLEAN AT ALL TIMES AND CONSTRUCTION AREAS ARE TO BE MAINTAINED FOR SAFETY.
8. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, AND SHALL COMPLY WITH PREVAILING ACCESSIBILITY REQUIREMENTS. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY PORTION OF THE WORK WHICH DOES NOT COMPLY WITH SUCH REQUIREMENTS.
9. CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS, APPROVALS AND INSPECTIONS RELATED TO SCOPE OF WORK.
10. REFERENCE TO "OWNER'S REPRESENTATIVE" ARE MADE IN THESE DOCUMENTS AND REFERS TO THE PROJECT OWNER OR DESIGN REPRESENTATIVE. IN ADDITION TO THE OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR DESIGN CLARIFICATIONS OR ADDITIONAL INFORMATION RELATED TO SCOPE OF WORK.
11. NOTIFY OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE OF COMMENCING WORK TO COORDINATE PROJECT SCHEDULE.
12. IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS AND SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTS AND ACTUALS. SITE CONDITIONS PRIOR TO CONSTRUCTION SHALL BE MAINTAINED AS MUCH AS POSSIBLE. ANY CHANGES KNOWN TO THE OWNER'S REPRESENTATIVE WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE OR REMOVE AS DIRECTED.

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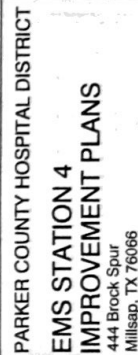
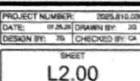
1. NOT DO PROCEED WITH ANY PORTION OF WORK AS INDICATED IN DOCUMENTS IF OBSTRUCTIONS, DISCREPANCIES OR UNFAVORABLE CONDITIONS ARE ENCOUNTERED. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED.
2. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER DISCIPLINES.
3. LIMITS OF WORK INDICATED ON DRAWINGS, IF ANY, ARE GENERAL IN NATURE AND ARE INTENDED TO DEFINE THE GENERAL VICINITY IN WHICH THE SCOPE OF WORK EXISTS. ACTUAL LIMITS OF WORK SHALL INCLUDE ALL AREAS NECESSARY TO COMPLETE SCOPE OF DESIGN INTENT.
4. UNLESS OTHERWISE NOTED, ALL EXISTING TRUNKS SHALL BE PROTECTED, DO NOT PARK, DRIVE, OPERATE MACHINERY OR STORE MATERIALS WITHIN THE DRAINAGE OF EXISTING TRUNKS.
5. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINE PRIOR TO PLANTING OR CONSTRUCTION AND SHALL ADVISE CONTRACTOR OF ANY DISCREPANCIES. VICINITY WITH CHANGER PER LINE LOCATIONS PRIOR TO DRAINING. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
6. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
7. QUANTITIES SHOWN ON THE PLAN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLAN AND QUANTITIES SHOWN ON THE DRAWINGS, THE QUANTITIES SHOWN ON THE DRAWINGS SHALL PREVAIL.
8. CONTRACTOR SHALL PREVENT BODILY DAMAGE, AND OTHER POLLUTANTS FROM ENTERING ANY STORM WATER DRAINAGE SYSTEM OR ADJACENT WATERWAYS, WETLANDS, ETC. DURING THE DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE CORRECTION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC.

## LANDSCAPE PHOTOGRAPHY

1. PRIOR TO INSTALLATION ALL PLANT MATERIAL, THE LANDSCAPE CONTRACTOR SHALL STATE THE LOCATION OF ALL PREPARED TREES AND MARK THE SITE WITH THE OWNERS REPRESENTATIVE TO VERIFY LOCATION OF TREES AND ALL PLANTS TO BE INSTALLED. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PLANT MATERIAL THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO MAKE MINOR ADJUSTMENTS TO LOCATIONS PRIOR TO PLANTING.
  2. ALL NON-NOMENCLATED PLANTS (STUBS), EDGING AND BOLD LINES ARE DIAGRAMMATIC AND SHALL BE SCALED FROM DRAWINGS.
  3. PRIOR TO STRIKING ALL EDGING AND BOLD LINES (ON FRESH GRASS) FOR APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION, THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO MAKE MINOR ADJUSTMENTS TO LOCATIONS PRIOR TO PLANTING.
  4. REFER TO DETAILS AND SPECIFICATIONS FOR PLANT PIT DIMENSIONS AND BACKFILL REQUIREMENTS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AS IS APPROPRIATE FOR THE REASON OF THE PLANT MATERIAL BEING SUPPLIED. PLANT MATERIAL SHALL BE SUPPLIED IN A HEALTHY GROWING CONDITION, OF A SIMILAR SIZE AND VARIETY WITHIN 30 DAYS, UNLESS OTHERWISE APPROVED IN WRITING BY THE OWNER OR OWNERS REPRESENTATIVE.

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6. ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM STANDARDS AND SPECIFICATIONS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014".
7. ALL NEW PLANTS SHALL BE CONTAINER-GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
8. THE GENERAL CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
9. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREE SHALL BEAT SAME RELATIONSHIP TO FINISH GRADE AS THEY DO TO PREVIOUS GRADE.
10. CONTRACTOR SHALL FILL FINISH GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. PLANTING BED AREAS TO BE EXCAVATED OR LEFT BELOW FINAL FINISHED GRADE TO ACCOMMODATE FOR SOIL ADJUSTMENT / MULCH.
11. ALL PLANTING BEDS TO BE TILLED TO DEPTH OF 8" AND BACKFILLED WITH 4" OF ORGANIC MULCH.
12. ALL PLANTED AREAS TO BE MULCHED AS SPECIFIED IN PLAN / DETAILS.
13. ALL LANDSCAPED AREAS ARE TO BE MAINTAINED IN ACCORDANCE WITH CITY REGULATIONS.
14. ALL PLANT VARIETIES MUST COME FROM A SAME SOURCE SUPPLIER IN ORDER TO MAINTAIN A CONSISTENT APPEARANCE.
15. ALL CONTAINER GROWN MATERIAL MUST BE OF NURSERY STOCK CONDITIONS WITH A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER. TO MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED, BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH OUTSIDE THE CONTAINER.
16. ALL SHRUB PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING UNLESS OTHERWISE NOTED. NO STEEL TO BE INSTALLED ADJACENT TO BUSHES, CURBS OR FENCES.
17. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH MAIN AND FEEDER LINES AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SOIL IRRIGATION SYSTEM.

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REMOVE CLEAN ALL TAR AND PINE INSULATION OFF EXISTING METAL TRUSSES - TRUSSES ARE TO REMAIN



CLEAN ONLY ASBESTOS AS THERE IS NO FUNCTIONAL DAMAGE TO THE DUCTS (TYP)



REMOVE/REPLACE INSULATION & INVESTIGATE EXTENT OF DAMAGE BENEATH SUBFLOORING - CLEAN, REPAIR/REPLACE AS REQUIRED (TYP)



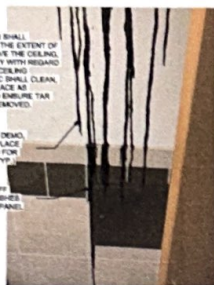
REMOVE/REPLACE INSULATION & INVESTIGATE EXTENT OF DAMAGE BENEATH SUBFLOORING - CLEAN, REPAIR/REPLACE AS REQUIRED (TYP)



CONTRACTOR SHALL INVESTIGATE THE EXTENT OF DAMAGE ABOVE THE CEILING, PARTICULARLY WITH REGARD TO EXISTING CEILING FINISHES - I.E. SHALL CLEAN, REPAIR/REPLACE AS REQUIRED TO ENSURE TAN DAMAGE IS REMOVED.



SELECTIVELY DEMO/REMOVE/REPLACE AS REQUIRED FOR NEW WORK (TYP)



CLEAN THE OFF EXISTING FINISHES AND ACCESS PANELS

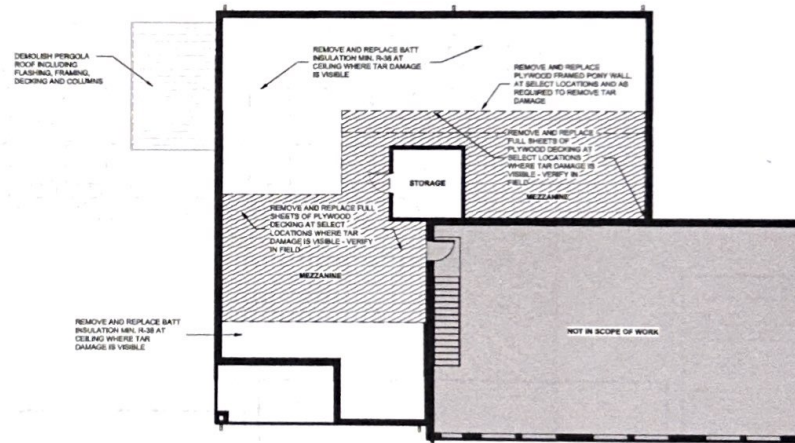
SITE PHOTOS



**GENERAL DEMOLITION NOTES:**

1. CONTRACTOR TO CONDUCT PRE-DEMOLITION MEETING WITH ARCHITECT AND CITY REPRESENTATIVES PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
2. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED OR REUSED, SALVAGES REPRESENTED ON OTHERWISE INDICATED TO REMAIN THE OWNER'S PROPERTY. REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN APPROVED LANDFILL.
3. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
4. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ONTO ADJACENT SURFACES AND AREAS.
5. DO NOT BURN DEMOLISHED MATERIALS ON SITE.
6. BUILDING DEMOLITION MAY INCLUDE ITEMS NOT REPRESENTED ON THESE DRAWINGS. CONTRACTOR MUST VERIFY ALL ITEMS TO BE DEMOLISHED.
7. CONTRACTOR TO COVER AND PROTECT EXISTING EXTERIOR FINISHES TO REMAIN ADJACENT TO ITEMS TO BE REMOVED.
8. CONTRACTOR TO INVESTIGATE ABOVE LAY-IN CEILING THROUGHOUT BUILDING TO IDENTIFY DAMAGE FROM TAR AND CLEAN (DEMO) / REPLACE GRID AND TILES AS REQUIRED.
9. CONTRACTOR MUST FILE A NOTIFICATION OF DEMOLITION WITH AHJ PRIOR TO DEMOLITION.

CONTRACTOR TO SELECTIVELY DEMO AND/OR CLEAN ALL SUB-DECKING, CEILING BATT INSULATION, DUCTWORK, ELECTRICAL COMPONENTS, CEILING TILES, GYPSUM CEILINGS AND ANY OTHER BUILDING COMPONENT WHERE DAMAGE EXISTS FROM ASPHALTIC TAR. CONTRACTOR WILL NEED TO VERIFY SCOPE OF DAMAGE IN THE FIELD.



MEZZANINE DEMOLITION PLAN 1

SCALE: 1/8" = 1'-0"

**SCHWARZ HANSON ARCHITECTS**

2607 PEARL STREET SUITE 1H F  
FORT WORTH, TX 76107  
817-377-2660  
www.schwarz-hanson.com

AN EXTERIOR AND INTERIOR RENOVATION FOR  
**PCHD EMS STATION 4**

444 BROCK SPUR  
MILLSPRING, AL 36056



PROJECT NO. 24297

DATE: 07-26-2020

REVISION SCHEDULE

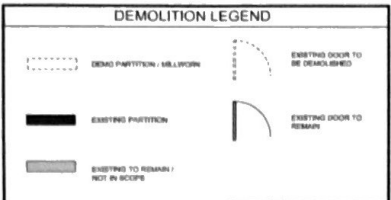
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SHEET NAME

DEMOLITION MEZZANINE PLAN

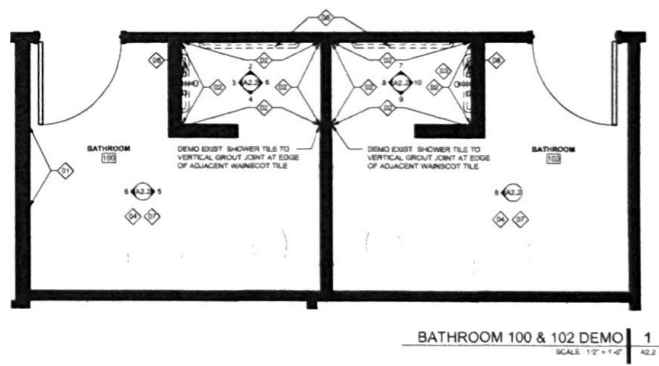
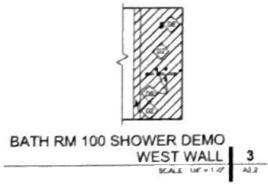
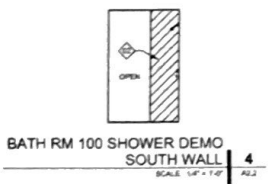
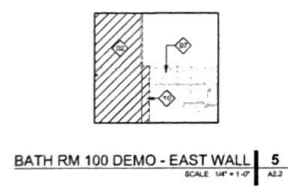
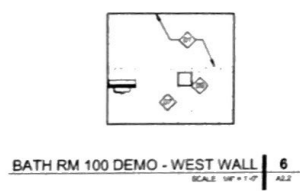
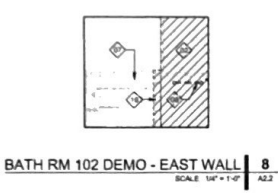
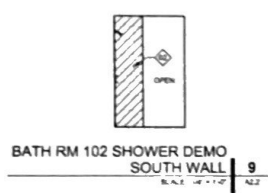
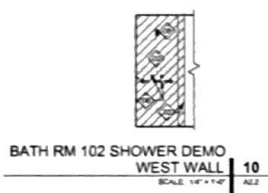
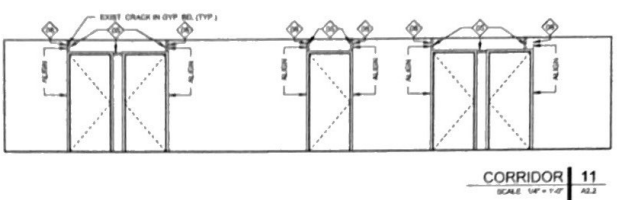
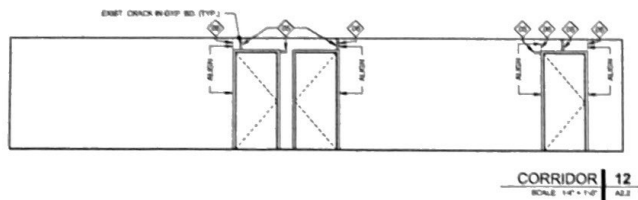
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**A2.1**



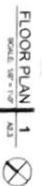
- ### DEMOLITION ACTIVITIES
- 1. DEMO 8" x 8" BD TO BE SELECTIVELY DEMOLISHED AS REQUIRED FOR NEW WORK
  - 2. DEMO ALL T&E WITHIN SHOWER
  - 3. DEMO EXIST 2" x 4" x 8" AND 2" x 6" x 8" JOIST AND 2" x 4" x 8" JOIST AND 2" x 6" x 8" JOIST TO RECEIVE NEW T&E
  - 4. T&E 1" x 4" x 8" JOIST FLOOR
  - 5. SELECTIVELY DEMO AND TAPE TEXTURE AND PAINT GYP BD AS REQUIRED TO REPAIR CRACKING
  - 6. CUT FREE EXISTING GYP BOARD AS REQUIRED TO INSTALL NEW CONTROL JOINTS
  - 7. TILE TO REMAIN AT RESTROOM WALLS REPAIR GROUT AND SEALANT AS REQUIRED. CLEAN OR REPLACE TILE AND GROUT WHERE CRACKED & DAMAGED.
  - 8. REMOVE SALVAGE STORES AND REINSTALL EXISTING PLUMBING FIXTURES. RESTROOM ACCESSORIES AND ACCESSIBILITY HARDWARE AS REQUIRED.
  - 9. EXISTING 1" x 4" x 8" ACCESSORY AND ADJUST 1" x 4" x 8" REPAIR CLEAN AND REPAIR AS PER A-100.
  - 10. REMOVE EXISTING T&E. SAFETY AND PREP TO BE REPAIRED AS REQUIRED FOR NEW WORK - REF. PROPOSED ELEVATIONS

- ### GENERAL DEMOLITION NOTES
1. CONTRACTOR TO VERIFY PRE-DEMOLITION MEETING WITH ARCHITECT AND CITY REPRESENTATIVE PRIOR TO COMMENCEMENT OF DEMOLITION WORK
  2. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSE, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN THE OWNER'S PROPERTY. REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN APPROVED LANDFILL.
  3. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE
  4. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ONTO ADJACENT SURFACES AND AREAS.
  5. DO NOT BURN DEMOLISHED MATERIALS ON SITE.
  6. BUILDING DEMOLITION MAY INCLUDE ITEMS NOT REPRESENTED ON THESE DRAWINGS. CONTRACTOR MUST VERIFY ALL ITEMS TO BE DEMOLISHED.
  7. CONTRACTOR TO COVER AND PROTECT EXISTING EXTERIOR FINISHES TO REMAIN ADJACENT TO ITEMS TO BE REMOVED.
  8. CONTRACTOR TO INVESTIGATE ABOVE LAY-IN CEILING THROUGHOUT BUILDING TO VERIFY DAMAGE FROM T&E AND CLEAN DEMO / REPLACE GRID AND TILES AS REQUIRED.
  9. CONTRACTOR MUST FILE A NOTIFICATION OF DEMOLITION WITH AHJ PRIOR TO DEMOLITION.



[illegible]

<p>  </p>	<p> <b>DEPARTMENT OF HEALTH AND HUMAN SERVICES</b>  <b>PUBLIC HEALTH SERVICE</b> </p>
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# INTERIOR FINISHES SCHEDULE

W B F

TAG	DESCRIPTION	MANUFACTURER	STYLE / FINISH	COLOR	NOTE	REMARKS	CONTACT
P-1	PAINT	INTERIORS L.L.B.	MATCH EXISTING	MATCH EXISTING	-	- COLOR MATCH EXISTING PAINT AND SHEEN	CHAR M HETCHEY   800.800.0801   CHARLENEMH@SCHWARZ-HANSON.COM
P-2	CEILING PAINT	INTERIORS L.L.B.	MATCH EXISTING	MATCH EXISTING	-	- MATCH CEILING PAINT TO EXISTING WHITE CEILING	CHAR M HETCHEY   800.800.0801   CHARLENEMH@SCHWARZ-HANSON.COM
T-1	WALL TILE	PORTOFINO	FLORIN	GRANITE	12 x 16	- EPOXY GROUT COLOR SPECIFIED IN FIELD	LAUREL PETERSON   817.266.0700   LAURELP@SCHWARZ-HANSON.COM
T-2	FLOOR TILE	PORTOFINO	FLORIN	GRANITE	12 x 16	- EPOXY GROUT COLOR SPECIFIED IN FIELD	LAUREL PETERSON   817.266.0700   LAURELP@SCHWARZ-HANSON.COM
T-3	FLOOR TILE	PORTOFINO	FLORIN	GRANITE	12 x 16	- EPOXY GROUT COLOR SPECIFIED IN FIELD	LAUREL PETERSON   817.266.0700   LAURELP@SCHWARZ-HANSON.COM
T-4	FLOOR TILE	PORTOFINO	FLORIN	GRANITE	12 x 16	- EPOXY GROUT COLOR SPECIFIED IN FIELD	LAUREL PETERSON   817.266.0700   LAURELP@SCHWARZ-HANSON.COM

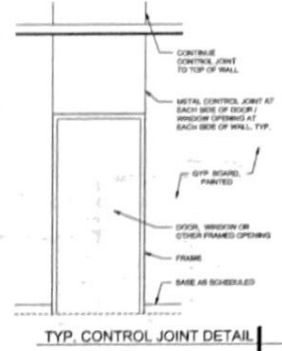
NOTE: ALL FINISHES SHALL BE APPLIED TO THE INDICATED SURFACES IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE REFERENCED SPECIFICATIONS. CONTRACTORS ARE PROVIDED FOR PRELUST REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SOURCING FINISHES AS SPECIFIED OR APPROVED FROM RELIABLE DISTRIBUTORS AS NEEDED. CONTRACTOR TO PROVIDE PRISMS AND SAMPLES FOR THE CLIENT TO MAKE THE FINAL MATERIAL SELECTION.

## NOTES - INTERIOR FINISHES

- THE ARCHITECTURAL DRAWINGS SHOULD BE USED WITH AND IN CONJUNCTION WITH THE CHART, STRUCTURAL, MECH. FIRE PROTECTION DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN THE DRAWINGS. DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL REMEDIATION OF FIRE DAMAGED ASSEMBLIES SHALL BE FIRE BLOCKED AND SEALED PER UL APPROVED METHODS.
- THE GENERAL CONTRACTOR IS TO ENSURE THE CONTINUITY OF NEW OR EXISTING PRE-CAST CONSTRUCTION.
- ALL FINISH MATERIALS MUST COMPLY WITH THE BUILDING CODE REQUIREMENTS FOR FLAME SPREAD AND SMOKE DEVELOPMENT INDEX.
- ALL MANUFACTURER'S NAME, TRADEMARK, LOGO, ETC. SHALL NOT BE VISIBLE TO THE PUBLIC, UNLESS REQUIRED BY THE BUILDING CODE.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN IN CASE OF CONFLICT. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD PRIOR TO PROCEEDING.
- IT IS THE INTENT OF THE DRAWINGS THAT ALL EXPOSED SURFACES RECEIVE FINISHES AS INDICATED ON THE DRAWINGS, UNLESS:
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL FINISHES WITH ALL MECHANICAL, PLUMBING, EQUIPMENT, ELECTRICAL DATA DEVICES, AND ANY TO ENSURE PROPER PLACEMENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND CONFIRM COMPATIBILITY OF ALL FINISHES. MATERIALS, SEALANTS, SEALING, PAINTS, ADHESIVES, ETC. WITH SUBSTRATES, ADJACENT MATERIALS, ETC. NOTIFY INTERIOR DESIGNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING.
- UPON COMPLETION OF ALL WORK, GENERAL CONTRACTOR SHALL TOUCH-UP ALL FINISHES PRIOR TO MOVE IN.
- SUBMITTALS MUST NOT BE MADE UNLESS APPROVED BY THE INTERIOR DESIGNER.
- ALL FINISHES SHALL BE INSPECTED ON SITE FOR ANY DEFECTS OR DISCREPANCIES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DELIVERY AND LEAD TIME. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ORDER LONGER LEAD TIME MATERIALS IN ADVANCE SO AS NOT TO DELAY THE INSTALLATION SCHEDULE.
- FINISHES MUST BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. ANY FINISH THAT HAS MATERIAL, DEFECT, OR MAY BE ALONE AND RUN IN THE SAME DIRECTION.
- ANY WORKMANSHIP NOT IN COMPLIANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS WILL NOT BE ACCEPTED.
- PROTECT ALL FINISHES, BONDED OR INSTALLED. EACH TRADE IS RESPONSIBLE FOR PROTECTING THEIR WORK FROM OTHER TRADES.
- AT COMPLETION, ALL FINISHES SHALL BE IN "LIKE NEW" CONDITION.
- GROUT LINES AT WALL AND FLOOR TILE SHALL MATCH EXISTING LINES.

- FINISHER - BLANK FLOORING AND BASES
- FLOOR SURFACE MUST BE LEVELLED AND INSPECTED BY CONTRACTOR PRIOR TO INSTALLATION OF MATERIALS.
- IF THE BLANK FLOOR TO MEET THE REQUIREMENTS OF THE MANUFACTURER, THE ARCHITECT MUST BE NOTIFIED IN WRITING.
- ALL BLANK DEPRESSIONS AND IMPERFECTIONS MUST BE SAWN COATED.
- ALL TRANSITIONS MUST MEET AAS ENDOURED. WHERE A TRANSITION MEETS AT A DOORWAY, THE FINISHER SHALL MEET IN THE CENTER OF THAT DOORWAY.

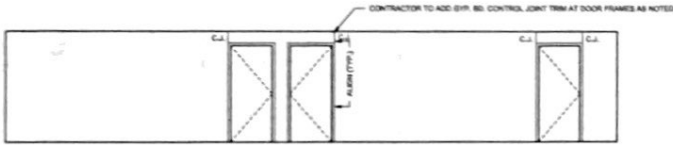
- FINISHER - WALLS
- CONTRACTOR TO PROVIDE PAINT DRAW DOWN BURETALS FOR APPROVAL PRIOR TO FIELD WORK.
- ALIGN ALL GROUT LINES OF WALL TILE WITH FLOOR TILE LINES.
- ALL JOINTS, SEAMS, OR OTHER DEPRESSIONS IN SURFACE OF GYPSUM BOARD SHALL BE TREATED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ALL JOINTS, LINES SHALL BE TAPE, BECEDED, AND SANDED. FINISHES SHALL HAVE A SMOOTH SURFACE TO RECEIVE FINISH. SHALL TREATMENT AS SPEC. FINISHED JOINTS SHALL BE NOT LESS THAN 1/4" IN WIDTH.
- ALL VERTICAL AND HORIZONTAL EXTERNAL CORNERS OF GYPSUM BOARD SHALL HAVE CORNER REINFORCEMENTS PROVIDED. INSTALL CORNER BEADS WITH BUTTLE FASTENERS. INSTALL CORNER BEADS WHERE GYPSUM SURFACES TERMINATE OR MEET. TRIM AS NOTED.
- FINISHED GYPSUM CONSTRUCTION SHALL BE FREE OF NOTICEABLE DEFECTS WHICH INCLUDE JOINT, BUBBLES, BLENDED JOINTS, BUBBLES, DISCREPANCIES OR OUT OF PLACE. JOINT BLENDED, BUBBLES, PIN HOLES IN JOINT TREATMENT OR ANY OTHER NOTICEABLE DEFECTS. FINISH SHALL BE TRUE TO LINE, PERFECTLY SMOOTH, AND READY TO RECEIVE FINISH MATERIALS AS SPEC.



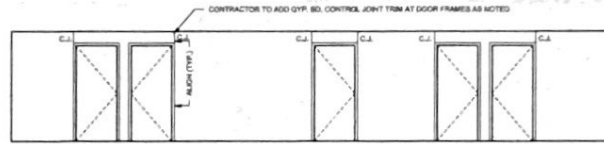
## FLOOR PLAN LEGEND:

ROOM NAME	ROOM TAG
100A	DOOR SYMBOL
1	ELEVATION

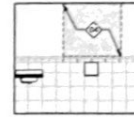
- LEGEND:
- NEW FLOOR & WALL TILE & GROUT WITHIN SHOWER REF. INTERIORS SCHEDULE.
  - NEW SHOWER PAN.
  - PATCH AND REPAIR FINISHES ADJACENT TO TILE WORK.
  - PATCH AND REPAIR GYP. BE - TAPE, SEAL, TEXTURE & PAINT TO MATCH EXISTING WALL.
  - REINSTALL SALVAGED GRAB BARS.
  - REINSTALL EXISTING PLUMBING FIXTURES, RESTROOM ACCESSORIES AND ACCESSIBILITY HARDWARE WHERE REQUIRED.



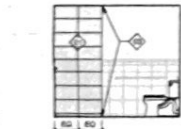
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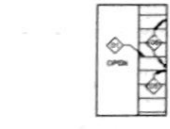
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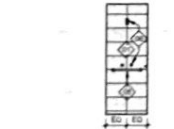
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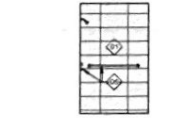
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BATH RM 100 SHOWER SOUTH WALL 8  
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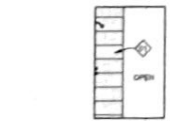
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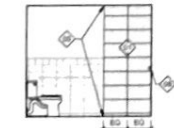
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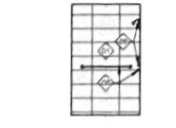
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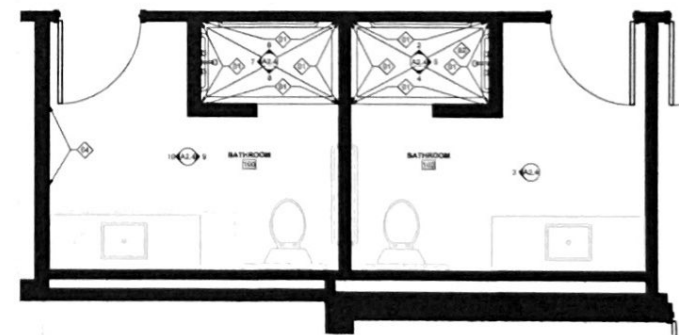
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BATH RM 102 - EAST WALL 3  
SCALE: 1/4" = 1'-0" A2.4



BATH RM 102 SHOWER NORTH WALL 2  
SCALE: 1/4" = 1'-0" A2.4



BATHROOM 100 & 102 1  
SCALE: 1/4" = 1'-0" A2.4

**SCHWARZ HANSON**  
ARCHITECTS

1007 TELAR STREET, SUITE 101  
FORT WORTH, TX 76107  
817-877-0800  
www.schwarz-hanson.com

AN EXTERIOR AND INTERIOR RENOVATION FOR  
**PCHD EMS STATION 4**

444 BROCK SPUR  
MILLAP, TX 76066

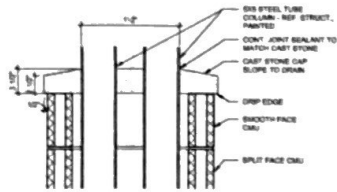


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REVISION SCHEDULE  
8/1/2025

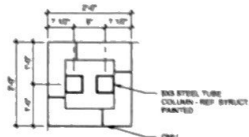
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ENLARGED FLOOR PLANS AND INTERIOR ELEVATIONS

SHEET NO.

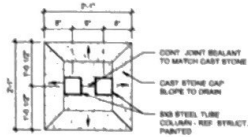
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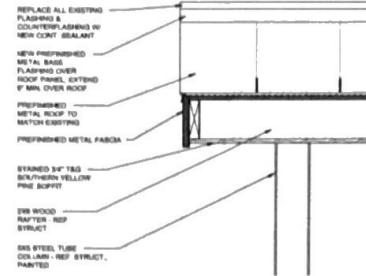
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ENLARGED PLAN 11  
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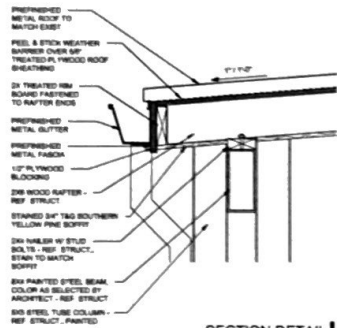


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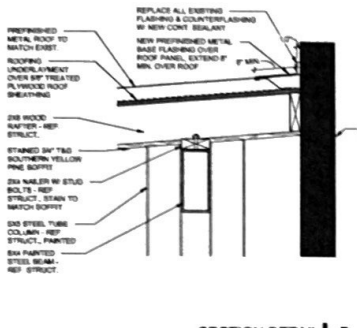


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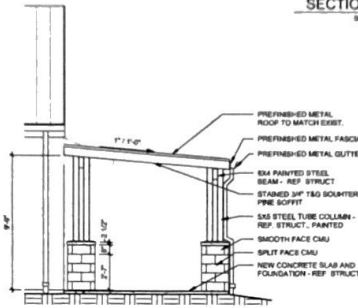
FLOOR PLAN LEGEND:	
ROOM NAME	ROOM TAG
100A	DOOR SYMBOL
1/4" = 1'-0"	ELEVATION



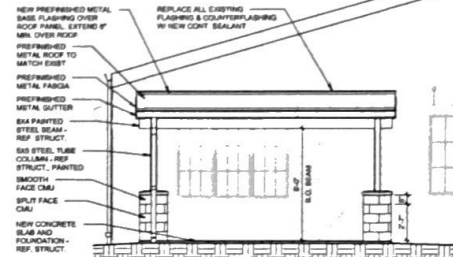
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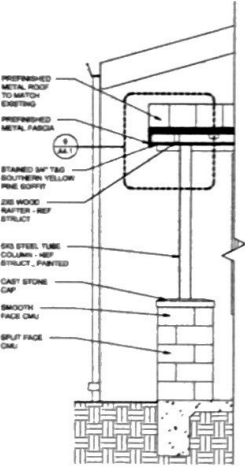
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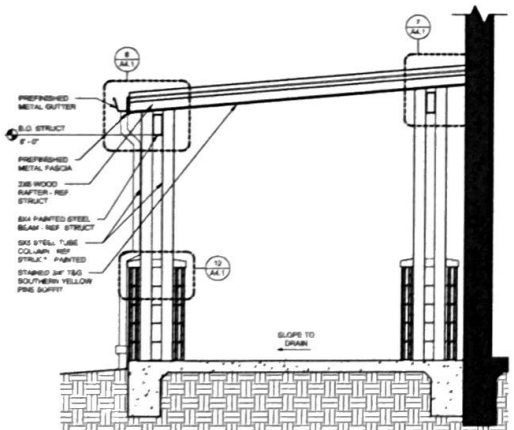
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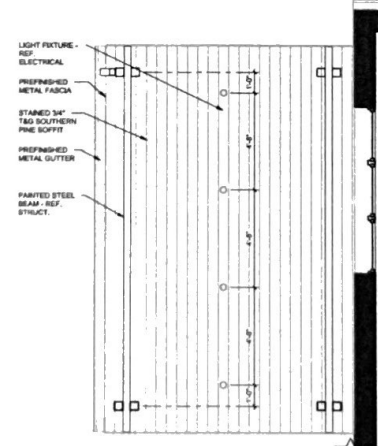
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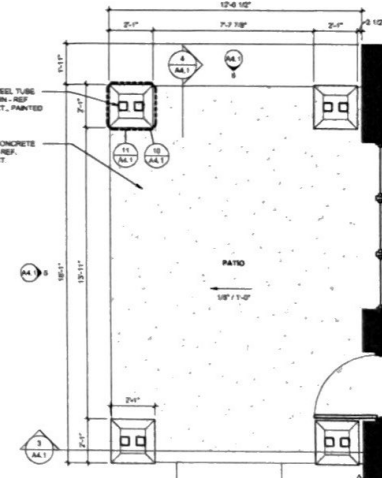
PERGOLA SECTION 4  
SCALE: 1/2" = 1'-0"



PERGOLA SECTION 3  
SCALE: 1/2" = 1'-0"



REFLECTED CEILING PLAN - PERGOLA 2  
SCALE: 3/8" = 1'-0"



ENLARGED FLOOR PLAN - PERGOLA 1  
SCALE: 3/8" = 1'-0"

**SCHWARZ  
HANSON**  
ARCHITECTS

2817 TULAR STREET, SUITE 121  
FORT WORTH, TX 76107  
817.371.3800  
www.schwarz-hanson.com

AN EXTERIOR AND INTERIOR RENOVATION FOR  
**PCHD EMS STATION 4**

444 BROOK SHUR  
MILLBURN, NJ 07048



PROJECT NO. 24297	DATE: 07-25-2025
REVISION SCHEDULE	
1. Description	Date

ENLARGED FLOOR  
PLANS, RCP, ELEVATIONS  
AND DETAILS - PERGOLA

SHEET NO.

**A4.1**

AN EXTERIOR AND INTERIOR RENOVATION FOR  
**PCHD EMS STATION 4**

444 BROCK SPUR  
MILLSAP, TX 76066



PROJECT NO. 24087

DATE: 07-05-2025

REVISION SCHEDULE

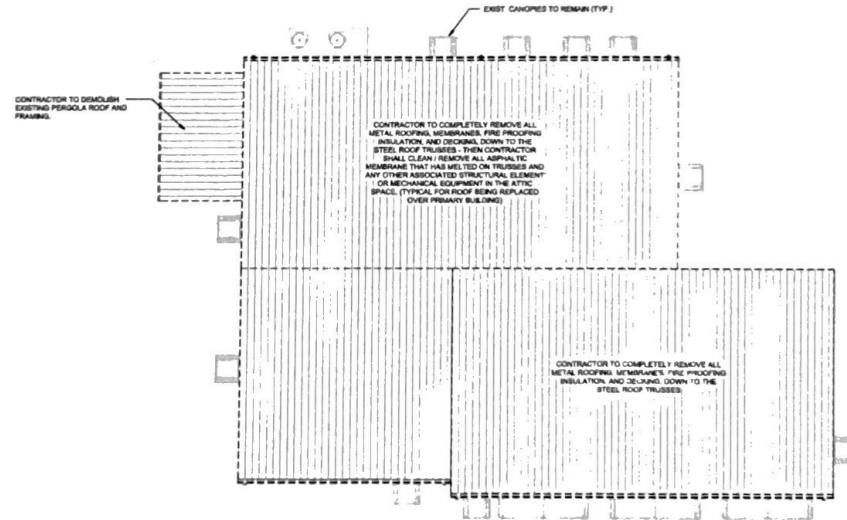
#	Description	Date
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SHEET NAME

DEMOLITION ROOF PLAN

SHEET NO.

**A5.0**



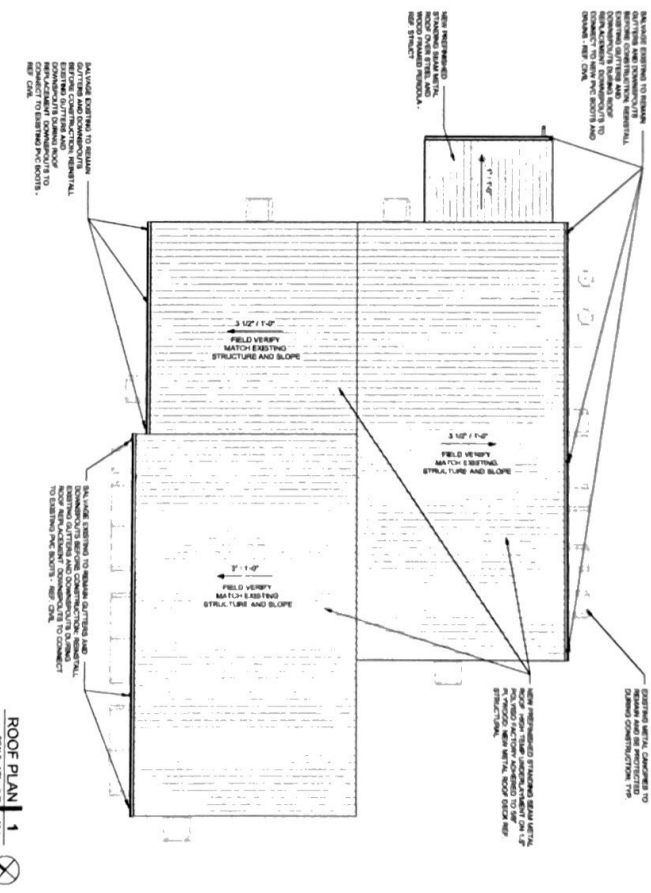
ROOF PLAN DEMO | 1  
SCALE: 1/8" = 1'-0" A5.0

AN EXTERIOR AND INTERIOR RENOVATION FOR  
**PCHD EMS STATION 4**

444 BROCK SPUR  
 MILLSAP, TX 76066



DAVID L. JOHNSON  
 ENGINEER  
 NO. 24829  
 STATE OF TEXAS



ROOF PLAN 1  
 SCALE: 1/8" = 1'-0"  
 A5.1

A5.1





## 444 BROCK SPUR, MILLSAP, TX 76066

[illegible]

1.0

1. CHECK EXISTING LIGHTING SYSTEM IN CONNECTION FOR REPAIR. NOTIFY OWNER IN WRITING OF INSTALLATION, ENVIRONMENTAL, OR HAZARD-RELATED ISSUES OBSERVED FOR EXISTING LIGHTING SYSTEMS THAT ARE INOPERABLE. PROVIDE NEW TYPE OF LIGHTING AS REQUIRED FOR EXISTING DEVICES THAT ARE UNABLE TO BE REPAIRED AS LATER LIGHT USES TO PREVENT REDUCTION OF EXISTING TYPE IN AREA DURING AND INSTALLATION OF NEW TYPE IN LIGHT FIXTURE PER SPECIFICATIONS. PROVIDE OWNER WITH FIRST OPTION FOR REPAIR OF NEW INSTALLATION FOR SUBSEQUENT COURSE OF ACTION.
2. LIMITED ELECTRICAL DEMOLITION FOR EXISTING CANOPY LIGHT AND FIXTURES AND INSTALL NEW CANOPY LIGHTING.
3. NEW CONCRETE AND CONCRETE/CLAY TILE IS THE SCOPE OF WORK IS INCLUDED ON CANOPY ONLY.

1. **RENDER SHIP DRAWINGS FOR A MATERIAL FURNISHING (UNDER THE DIRECTION OF WORK, PROVIDE ELECTRONICALLY) TO THE ENGINEER.**
2. **ISSUE AND PAY FOR THE MATERIAL FURNISHING. DESIGN AND MANUFACTURING REQUIRED BY AND FOR THE COMPLETION OF THE WORK. ISSUED AND PAY FOR THE MATERIAL FURNISHING. THE WORK AND THE MANUFACTURING REQUIRED BY AND FOR THE COMPLETION OF THE WORK. ISSUED AND PAY FOR THE MATERIAL FURNISHING. THE WORK AND THE MANUFACTURING REQUIRED BY AND FOR THE COMPLETION OF THE WORK.**
3. **ISSUE THE PROJECT AND SHIP DRAWINGS AND ALSO PROVIDE TO THE MANUFACTURING AND CONSTRUCTION OF THE WORK.**
4. **ALL MATERIAL SHALL BE OF A LATEST AND PROVED FROM CERTAIN, HAVING EXISTING MATERIAL IN SPECIFICALLY KNOWN TO BE USED. INSTALL THE MATERIAL IN THE WORK AND PROVIDE TO THE MANUFACTURING AND CONSTRUCTION OF THE WORK.**
5. **ISSUED OF THE PROJECT AND SHIP DRAWINGS, AND ALSO PROVIDE TO THE MANUFACTURING AND CONSTRUCTION OF THE WORK.**
6. **PROVIDE ALL MATERIAL AND MANUFACTURING REQUIRED BY AND FOR THE COMPLETION OF THE WORK. PROVIDE ALL MATERIAL AND MANUFACTURING REQUIRED BY AND FOR THE COMPLETION OF THE WORK.**
7. **PROVIDE FACTORY PLAN FOR A MATERIAL FURNISHING TO THE JOURNAL AND TABLE OF FINISHES INDICATIVE FROM DRAWINGS.**
8. **PROVIDE NEW TECHNOLOGY DIRECTORIES FOR MATERIAL FURNISHING AND ALSO PROVIDE TO THE MANUFACTURING AND CONSTRUCTION OF THE WORK.**
9. **PROVIDE A COPY OF AVAILABLE PLAN TO THE COMPLETION OF THE COMPLETION OF THE WORK.**
10. **MANUFACTURING OF THE WORK AND PROVIDE TO THE MANUFACTURING AND CONSTRUCTION OF THE WORK. PROVIDE TO THE MANUFACTURING AND CONSTRUCTION OF THE WORK.**
11. **RENDER SHIP DRAWINGS FOR A MATERIAL FURNISHING (UNDER THE DIRECTION OF WORK, PROVIDE ELECTRONICALLY) TO THE ENGINEER.**
12. **ISSUE AND PAY FOR THE MATERIAL FURNISHING. DESIGN AND MANUFACTURING REQUIRED BY AND FOR THE COMPLETION OF THE WORK. ISSUED AND PAY FOR THE MATERIAL FURNISHING. THE WORK AND THE MANUFACTURING REQUIRED BY AND FOR THE COMPLETION OF THE WORK.**
13. **ISSUE THE PROJECT AND SHIP DRAWINGS AND ALSO PROVIDE TO THE MANUFACTURING AND CONSTRUCTION OF THE WORK.**
14. **ALL MATERIAL SHALL BE OF A LATEST AND PROVED FROM CERTAIN, HAVING EXISTING MATERIAL IN SPECIFICALLY KNOWN TO BE USED. INSTALL THE MATERIAL IN THE WORK AND PROVIDE TO THE MANUFACTURING AND CONSTRUCTION OF THE WORK.**
15. **ISSUED OF THE PROJECT AND SHIP DRAWINGS, AND ALSO PROVIDE TO THE MANUFACTURING AND CONSTRUCTION OF THE WORK.**
16. **PROVIDE ALL MATERIAL AND MANUFACTURING REQUIRED BY AND FOR THE COMPLETION OF THE WORK. PROVIDE ALL MATERIAL AND MANUFACTURING REQUIRED BY AND FOR THE COMPLETION OF THE WORK.**
17. **PROVIDE FACTORY PLAN FOR A MATERIAL FURNISHING TO THE JOURNAL AND TABLE OF FINISHES INDICATIVE FROM DRAWINGS.**
18. **PROVIDE NEW TECHNOLOGY DIRECTORIES FOR MATERIAL FURNISHING AND ALSO PROVIDE TO THE MANUFACTURING AND CONSTRUCTION OF THE WORK.**
19. **PROVIDE A COPY OF AVAILABLE PLAN TO THE COMPLETION OF THE COMPLETION OF THE WORK.**
20. **MANUFACTURING OF THE WORK AND PROVIDE TO THE MANUFACTURING AND CONSTRUCTION OF THE WORK. PROVIDE TO THE MANUFACTURING AND CONSTRUCTION OF THE WORK.**

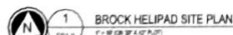
1. **WIRING CONNECTIONS:** Verify that all internal wiring connections are correct. Verify that all external wiring connections are correct. Verify that all wiring is properly labeled and color-coded.
2. **INTERNAL WIRING:** Verify that all internal wiring connections are correct. Verify that all wiring is properly labeled and color-coded.
3. **EXTERNAL WIRING:** Verify that all external wiring connections are correct. Verify that all wiring is properly labeled and color-coded.
4. **TESTING:** Verify that all wiring connections are correct. Verify that all wiring is properly labeled and color-coded.
5. **REPAIRS:** Verify that all wiring connections are correct. Verify that all wiring is properly labeled and color-coded.
6. **FINAL CHECK:** Verify that all wiring connections are correct. Verify that all wiring is properly labeled and color-coded.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SINGLE POLE SWITCH		DUPLEX RECEPTACLE
	TWO-WAY SWITCHES		QUAD RECEPTACLE
	CONDUIT AND RISER TO PANEL - SEE NOTE 2		JUNCTION BOX - SEE NOTE 1
	CONDUIT - NOTE 2		JUNCTION BOX
	1/2" RIGID, CU, IS DEREGULATED		WET FINISHED FLOOR
	WET FINISHED FLOOR		WET FINISHED FLOOR
	WEATHERSTRIPPED "WALK IN DOOR"		GROUND FAULT CIRCUIT INTERRUPTING
	ENDING TO FINISH (SELECT SHOWER) NOTE		

**NOTES:**

1. PROVIDE WITH WEATHERSTRIPPED "WALK-IN-DOOR" COVER FOR ALL OUTDOOR APPLICATIONS.
2. PROVIDE PHOSPHOR CONDUCTOR, NEUTRAL, AND GROUNDING CONDUCTOR.
3. SOME OF THESE SYMBOLS AND ABBREVIATIONS MAY NOT APPEAR ON THE DRAWING.

TYPE	DESCRIPTION	LAMP	WATT
A	<p>QTY 4 AS APPROVED BY ENGINEER - NEW 2' LONG PROFILE LED HOODED REAR FLOODLIGHT - FFC HELIPORTS WITH 4000000 IN INTEGRAL INV. LED LIGHTS - MOUNT ON EDGE OF HELIPAD PER MANUFACTURERS INSTALLATION INSTRUCTIONS - 14.60" W X 6.25" X 7.75" WITH (2) - 5.438" DIA METER TIE-RODS FOR BOLTING TO FLOODLIGHT</p>	LED 4000000 IN LED QTY 8)	500
B	<p>QTY 4 - 2' RING LIGHTS (2) LED SOLARLIGHT - COOPER HALL HOSKAT SHALLOW HOUSING IN 15% HALL 1740000000 - FIELD SELECTABLE CCT (3000K) - 12W - LOCATE PER ARCHITECTURAL PLANS</p>	INTEGRAL LED	15W





**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 4.8**

**Title**

Town of Brock Town Hall lease

**Item Summary**

Review and discuss options for Brock Town Hall annual lease

**Attachments**

1. Lease Expiration and Renewal Options letter from Learn 2 Live
2. Lease Contract from Provenance Solutions Group, LLC

**Learn 2 Live**  
5125 FM 1189  
Weatherford, TX 76087  
972-467-8206  
rogervnye@gmail.com

**Date:** September 3, 2025

**To:** City of Brock  
2451 FM 1189 Brock, TX 76087

**Lease Expiration and Renewal Options**

Dear City of Brock,

This letter serves as formal notice that your current lease at 2451 FM 1189 will expire on **September 30, 2025**.

We appreciate having you as a tenant and would like to offer the following options should you wish to continue your tenancy beyond the current term:

**Option 1: Lease Renewal with Rent Adjustment**

You may renew your lease for a **6-month term at a monthly rent of \$850**. After this 6-month term, the lease will transition to a **month-to-month agreement** under the same terms unless either party provides a 30-day notice of termination in accordance with the lease agreement.

**Option 2: New Lease in the White Building**

Alternatively, you may choose to relocate to a unit in the **White Building**. This option involves signing a **new lease at a monthly rate of \$2,200**. The unit could be **built out to suit**, subject to agreed-upon restrictions and conditions, or you may choose to build out to suit.

Please let us know your decision by **September 30, 2025** to ensure a smooth transition and to allow sufficient time for preparation. If we do not hear from you by that date, we will assume you do not intend to renew and will proceed accordingly with move-out arrangements, or a new agreed upon deadline may be set.

If you have any questions or would like to discuss these options in more detail, feel free to contact us at your earliest convenience.

Thank you again for being a valued tenant.

Sincerely,  
**Roger Nye**  
**Learn 2 Live**

# SUBLEASE AGREEMENT

- I. **THE PARTIES.** This Sublease Agreement ("Sublease") is entered into on May 1, 2025, by and between:

Sublessor: Provenance Solutions Group, LLC. ("Sublessor") who agrees to sublet to:

Sublessee: \_\_\_\_\_ ("Sublessee") that agrees to rent the Premises from the Sublessor.

Sublessor and Sublessee are each referred to herein as a "party" and, collectively, as the "parties."

- II. **OCCUPANTS.** In addition to the Sublessee, the following individuals are allowed to occupy the Premises: (check one)

☐ - \_\_\_\_\_ ("Occupant(s)")

☒ - There are no other individuals occupying the Premises.

- III. **THE PROPERTY.** The Sublessor agrees to sublet, and the Sublessee agrees to take possession of the property that is located and described as:

Address: 2491 FM 1189 Weatherford, Texas 76087

Type: ☐ Apartment ☐ House ☐ Condo ☒ Other: Office Space

Bedroom(s): Suite 400

Bathroom(s): Common

Additional Description: 192 Square Feet

Hereinafter known as the "Premises."

- IV. **TERM.** Tenancy of this Sublease will begin with the Sublessee taking possession on May 1, 2025 and ending on April 30, 2026. Under no circumstances can there be a holdover by the Sublessee.
- V. **RENT.** The Sublessee agrees to pay rent under this Sublease in the amount of \$825 payable on the 1st of each Month to the Sublessor. The rent must be paid in the following manner: Check or cashiers check made out to Provenance Solutions Group LLC. First full month and last month rent amount due before moving into premise. Prorate available.
- VI. **UTILITIES.** The Sublessor agrees to pay for the following utilities and services: water, electricity, trash, and internet connection.

- a. Sublessee will be responsible for \$30/month for cleaning services. Cleaning services will be rendered to common spaces only. This is due at the first of the month with rent payment.

**VII. SECURITY DEPOSIT.** As part of this Sublease, the Sublessor: (check one)

☒ - **REQUIRES** a security deposit in the amount of \$500 for the successful performance of this Sublease. Payment of the security deposit is required at the execution of this Sublease and shall be returned at its expiration, less any itemized deductions due to damage or other liabilities (wear and tear excepted).

☐ - **DOES NOT** require a security deposit as part of this Sublease.

**VIII. LANDLORD'S CONSENT.** The original lease between the Landlord and Sublessor: (check one)

☒ - **ALLOWS** subletting.

☐ - **Does NOT** allow subletting, but consent by the Landlord HAS BEEN GRANTED to the Sublessee to take possession of the Premises.

☐ - **Does NOT** allow subletting, and consent by the Landlord WILL BE REQUESTED immediately after this Sublease has been executed. If the Sublessee is denied by the Landlord, this Sublease will be canceled with the Security Deposit returned to the Sublessee with no further liabilities by either party.

**IX. SMOKING POLICY.** Smoking on the Premises: (check one)

☐ - Is **ALLOWED**: (check one)

☐ - Throughout the entirety of the Premises.

☐ - Only in the following areas: [DESCRIBE]

☒ - Is **NOT ALLOWED** on the Premises or any common areas.

**X. MOVE-IN CHECKLIST.** At the time of taking possession of the Premises by the Sublessee, the Sublessor and Sublessee will: (check one)

☒ - **BE REQUIRED** to complete a move-in checklist that provides a detailed accounting of the condition of the Premises including, but not limited to, repairs needed, water damage, or material defects. This is recommended to protect the Security Deposit of the Sublessee.

☐ - **NOT BE REQUIRED** to complete a move-in checklist that provides a detailed accounting of the condition of the Premises unless otherwise required by law.

**XI. LEAD-BASED PAINT.** The Premises: (check one)

☐ - Was built **BEFORE** January 1<sup>st</sup>, 1978, and a Lead-Based Paint Disclosure is attached to this Sublease.

☒ - Was built **AFTER** before January 1<sup>st</sup>, 1978, and a Lead-Based Paint Disclosure is not required to be attached to this Sublease.

**XII. LIABILITY.** Sublessee agrees to surrender and deliver to the Sublessor the Premises, including all furniture and decorations within the Premises in the same condition as they were at the beginning of the term with reasonable wear and tear excepted. The Sublessee will be liable to the Sublessor for any damages occurring to the Premises, the contents thereof, the living areas, including any common spaces. All actions conducted by any guests of the Sublessee are the responsibility and liability of the Sublessee.

**XIII. GUESTS.** There is no other person(s) living on the Premises other than the Sublessee and the Occupant(s).

a. The sublessee is responsible for any guests/clients that are invited to the property. Any damage or misconduct by guests/clients will be the sublessee responsibility.

**XIV. MASTER LEASE.** This Sublease must follow and is subject to the original lease agreement between the Sublessor and Landlord. The Sublessee agrees to assume all the obligations and responsibilities of the Sublessor under the Master Lease for the duration of the Sublease. All disclosures and statements required by the state and listed in the Master Lease are made part of this Sublease and, when attached, will be considered disclosed to the Sublessee in accordance with state and local laws.

**XV. DISPUTES.** If a dispute arises during or after the term of this Sublease between the Sublessor and Sublessee, they agree to negotiate amongst themselves before any litigation, arbitration, or mediation.

**XVI. WRITTEN AGREEMENT.** This Sublease constitutes the sole agreement between the Sublessor and Sublessee with no additions, deletions, or modifications that may be accomplished without the written consent of both parties. Any oral representations made at the time of executing this lease are not legally valid and, therefore, are not binding upon either party.

**XVII. GOVERNING LAW.** This Sublease is bound to the laws in the state where the Premises is located.

**XVIII. ADDITIONAL TERMS AND CONDITIONS.** Should the Subleasee request to terminate this contract before the agreed upon date and does not have a legal excuse to end the lease early the subleasee will be responsible for rent until the lease expires or until the sublessor finds a new tenant.

**XIX. SEVERABILITY.** If any term, covenant, condition, or provision of this Sublease is held by a court of competent jurisdiction to be invalid, void, or unenforceable, the remainder of the provisions will remain in full force and effect and in no way be affected, impaired, or invalidated.

**XX. ENTIRE AGREEMENT.** This Sublease contains the entire agreement of all parties on these matters, superseding any previous agreement between them.

**Sublessor's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_  
**Print Name:** \_\_\_\_\_

**Sublessee's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_  
**Print Name:** \_\_\_\_\_



**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 4.9**

**Title**

Town of Brock Light Pollution Complaint

**Item Summary**

Review and discuss a future light pollution ordinance

**Attachments**

1. Photographs of shopping center lights located at 1421 FM 1189 Brock, Texas 76087





**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**AGENDA ITEM 4.10**

**Title**

Brock Hometown Christmas

**Item Summary**

Review and discuss the Town of Brock temporary oversight of the annual Brock Hometown Christmas

**Attachments**

1. Brock Hometown Christmas Handoff Packet

# Brock Hometown Christmas Handoff Packet

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Prepared by: Hannah Conniff

Date: 09-15-25

## 1. Event Overview

- Event Name: Brock Hometown Christmas
- History/Purpose: Brock Hometown Christmas was started in 2019 by the Brock Business Connections as a way for local Brock businesses to highlight what they do while giving back to the community in a fun and festive way.
- Usual Date & Time: 1<sup>st</sup> Sunday in December (12/7/2025) from 12:00-6:00
- Average Attendance: Between 8-10K
- General Atmosphere: Family-friendly, festival, fundraiser

## 2. Logistics

- Location(s): Silver Star Shopping Center. Other locations have been discussed. • Permits Needed: Permission from Landlord
- Vendors/Partners: Will Provide
- Volunteer/Staffing Needs: Will Provide
- Layout Map: Will Provide

**Need to work with the Precinct Barn to utilize space for parking.**

## 3. Financial Snapshot

- Approximate Budget: \$25K - Budget (Kids Zone @ \$1500, Tree @ \$10K, Security @ \$2500, Facilities @ \$2500, Insurance @ \$1006.94, Entertainment @ \$3500, PA System @ \$3628)
  - Estimated Expenses: [Tree, Santa Stage, Sound, Kids Zone, security, insurance, supplies] - \$18,775.85
  - Estimated Income: - \$35,600.00
- Sponsors Approx. 23 in 2024
- Vendors—Approx 101 in 2024 Vendor fee @ \$100
  - Food Vendors —Approx 101 in 2024 Vendor Fee @ \$200

## 4. Marketing & Outreach

- Branding/Logos: Would need to be Revamped for Town of Brock
- Social Media Accounts: Will Provide
- Advertising Methods Used: We have posted Flyers & Hung Banners, relied heavily on SM

and have utilized Radio spots if sponsorship provided.

- **Community Partners:** We always invite the schools/classes to participate. The churches participate as vendors but haven't proven to produce a lot of volunteer assistance due to the event falling on a Sunday. The Methodist church has provided shuttles and additional parking the past two years. Local Businesses have played a huge role in partnering with BHC through sponsorships and being present with a vendor booth

## 5. Lessons Learned

- **What Works Well:**

- Having alcohol. We received a lot of positive feedback on having the tap house there last year.
- Having a 50/50 Raffle to raise additional funds and creates vendor interaction
- Having school partnership
- Having plenty of food truck options
- Having good entertainment
- Tree lighting ceremony

- **Challenges:**

- Day of Volunteers.
- Having enough people to work KidsZone.
- Space

- **Tips for Success:** Have a good team and a board that backs and trusts.

## 6. Needs/Questions

- Budget (Kids Zone @ \$1500, Tree @ \$10K, Security @ \$2500, Facilities @ \$2500, Insurance @ \$1006.94, Entertainment @ \$3500, PA System @ \$3628)
- A platform to accept applications and payments
- Payment Portal - Can we take Venmo payments or checks only
- Port a Potties
- Entertainment (Bands, Musicians)
- Stage (Harendt Construction has provided in the past and may provide again if asked in Lieu of Sponsorship Recognition)
- Production/Sound Crew Needed
- Event Insurance
- Roll off Dumpster
- Generators/Lighted Generators
- Tables/Chairs
- Precinct Signs ahead of even for traffic flow and pedestrian crossing warning
- Santa

- Fathom Ink has always provided the banners and printed material in lieu of sponsorship – Est Cost \$3500-4000
- Tree – 3 Year lease through Christmas by Zeinith. 2025 is our final year in contract. They take care of everything for set up to tear down and handle any issues while tree is up. Cost for this final year is \$7500, I believe.
- Committee Head(s)

## **7. What do you get?**

- Storage Container – Stored in Millsap
- Decorations
- Santa Chair
- Signage from past years
- Supplies
- T-post
- Monies in BBC acct (if applicable) to continue to Host BHC

## **8. What would I like to see (as a community member)?**

- BHC Continue for years to come
- I would like to transform the Green Space with the help of the Town of Brock, Landlord/Owners/Bank into a lighted Holiday/Christmas Park for families to enjoy throughout the season – Electricity is an issue
- Funds raised from BHC be utilized to build a family friendly park with playground and walking path or create another space with those things to host BHC and other events.
- I would like to host more events throughout the year to give families something to do. BBQ or Chili Cookoffs with Live Music events.

## **8. Formal Handoff Statement**

On behalf of Brock Business Co-Op, we want to officially turn over responsibility for Brock Hometown Christmas to the Town of Brock as of September 22, 2025

We are proud to have hosted this event for the community and are excited to see it continue under the town's leadership. We are happy to provide guidance or answer questions during the transition if needed.

Signed:

Hannah Conniff, VP  
Brock Business Co-Op



**TOWN OF BROCK  
COMMISSION MEETING AGENDA BRIEFING  
SEPTEMBER 22, 2025**

**EXECUTIVE SESSION**

**Title**

Town Hall Real Estate Needs

**Item Summary**

Discuss Town of Brock Town Hall future real estate needs

**Attachments**

NONE